

PLANNING SUBMITTAL DRAWINGS FOR:
McNeill Real Estate Services, Inc.
NORTHPOINT COMMERCE CENTER
 NORTHPOINT PARKWAY AT THUNDERBOLT WAY
 SANTA ROSA, CALIFORNIA



RMW
 Architecture
 Interiors 1718 Third Street
 Suite 101
 Sacramento
 California 95811

Office
 916 449-1400

rmw.com

CLIENT:

**McNeill Real Estate
 Services**
 Joseph A McNeill, III

916 718 5659
 Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

**NORTHPOINT
 COMMERCE
 CENTER**

NORTHPOINT PARKWAY AT
 THUNDERBOLT WAY
 SANTA ROSA, CALIFORNIA

approved for the owner by :

approved for the architect by :

issue :	description :	date :
A	ISSUED FOR REVIEW	09-15-2023



VIEW OF NORTH EAST CORNER

PROJECT NARRATIVE:

Design Concept: The design concept and design approach for the building is based on and takes its cues from the architectural style of modernism which is characterized by clean geometric forms and clean lines with an emphasis on the horizontal aspect of the building's facade.

Site: The project site is located on the south side of Northpoint Parkway between Kingfisher Way and Thunderbolt Way, in the City of Santa Rosa, California. The 6.81 acre site is currently undeveloped.

Building: The project plan proposes one industrial building totaling 114,884 square feet. The industrial buildings will be of Type VB construction, site cast, tilted concrete panels with a variety of architectural enhancements. The typical wall panels are to be enhanced with reveals and a textured elastomeric, multicolored coating system. The areas around the building entries are also enhanced with tinted glazing in aluminum frames with overhead steel-framed painted canopies. The placement of these enhancements is focused at those locations most visible from the public roadways.

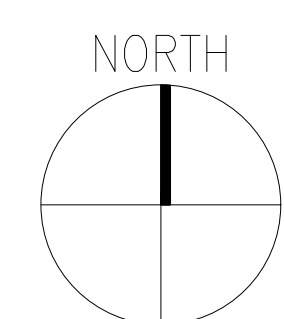
Site Access and Parking: One site entrance drive is proposed along Kingfisher Way. A second drive is provided along Thunderbolt Way. The site plan proposes a total of 166 vehicle parking stalls for employees and or customers.

Signage: The proposed signage in this submittal is for reference only. Criteria for future tenant signage will be provided at a later date and under a separate permit as required.

Landscaping: The project will be fully landscaped using plants appropriate for and indigenous to the City of Santa Rosa. Low water use plants will be used extensively, while moderate water use plants will be concentrated at accent points, such as driveways and building entries.

Sustainable Materials & Construction Practices: The project will incorporate a variety of sustainable materials and construction practices to include the following: 1) A storm water pollution prevention plan to minimize contamination, erosion, and dust pollution during construction. All storm water runoff from impervious surfaces (roofs and paving) will be routed through a specially designed water quality detention and treatment basin. Additionally, if needed, on-site detention will be provided to meet the City of Santa Rosa standards. 2) Storage and collection of recyclable materials. 3) Construction waste management. 4) Environmental tobacco smoke control. 5) Heat reflecting roof membranes. 6) Light pollution reduction. 7) Water efficient landscaping. 8) Water use reduction methods. 9) Low VOC emitting sealants, adhesives, coatings, floorings, and wood materials. 10) Roof structures designed to accommodate additional weight for roof-top photovoltaic electricity generation panel arrays. 11) California Green Building Code compliant electric vehicle charging stations at eight locations. 12) The project architect is a LEED accredited professional and will apply his knowledge of LEED techniques and practices to the project design and construction.

VICINITY MAP:



PROJECT TEAM:

OWNER
 McNEILL REAL ESTATE SERVICES, INC.
 5245 TAPESTRY CT.
 FAIRFIELD, CA 94534
 P: 916-718-5659

ARCHITECT:
 RMW ARCHITECTURE & INTERIORS
 1718 3RD STREET, SUITE 101
 SACRAMENTO, CA 95811
 P: 916-449-1400 x405

CIVIL ENGINEER:
 BC ENGINEERING GROUP INC.
 4188 B STREET - 3rd FLOOR
 SANTA ROSA, CA 95401
 P: 707-542-4321

LANDSCAPE DESIGNER
 DESIREE GARON
 308 HATCHERY LANE
 SONOMA, CA 95476
 P: 707-694-6139

PROJECT ARCHITECT & PROJECT DESIGNER
 JOSEPH A. McNEILL, III
 mcneill.jose@gmail.com

PROJECT ARCHITECT & PROJECT DESIGNER
 JEFF LEONHARDT,
 jeleonhardt@rmw.com

PROJECT ARCHITECT & PROJECT DESIGNER
 TOM BILLETER, P.E.
 tb@bcengineeringgroup.com

PROJECT ARCHITECT & PROJECT DESIGNER
 DESIREE GARON
 dgaron@magrane.com

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drawn by : TLG plot date : 09-15-2023

checked by : AGJDL

stamp



scale : AS NOTED

project number : 2204025.00

COVER SHEET

sheet no. :

A00.1

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C: VIEW OF NORTH EAST CORNER



A: VIEW OF FRONT ELEVATION



B: VIEW OF NORTH WEST CORNER

PROJECT RENDERINGS

SCALE: NO SCALE

1

drawn by : TLG plot date : 09-15-2021

checked by : AG/JDL

stamp



scale : AS NOTED

project number : 2204025.00

**PROJECT
RENDERINGS**

sheet no. :

A00.2



SITE INFORMATION / STATISTICS:

APN: 035-530-022-000
ZONING: IG - LIGHT INDUSTRIAL
TOTAL GROSS SITE AREA: 296,438 G.S.F. = 6.81 ACRES
BUILDING AREA: 114,883.67 G.S.F.
SITE COVERAGE: 38.75 % (GROSS)
CONSTRUCTION TYPE: V-B
BUILDING HEIGHT: 37'-4"
CLEAR HEIGHT: 28'-0"
NUMBER OF STORIES: 1
PARKING: 163 STALLS TOTAL
PARKING STANDARDS: (SANTA ROSA ZONING CODE 20-36.040 TABLE 3.4)
 • WAREHOUSING 1700 S.F. OR AS DETERMINED BY CUP. THE GROSS FLOOR AREA MAY INCLUDE ACCESSORY OFFICE SPACE COMPRISING LESS THAN 5% OF THE GROSS FLOOR AREA
 (114,883.67 S.F. @ 1700 S.F. = 164.12 = 165 STALLS)
 (165 STALLS WITH 25% PARKING REDUCTION = 124 STALLS)

- REQUIRED: 165 STALLS / 124 STALLS WITH 25% REDUCTION
- PROVIDED: 163 STALLS
- STANDARD STALLS: 119 9' X 19' (17' WITH A 2'-0" OVERHANG)
- COMPACT STALLS: 44 8' X 16' (14' WITH A 2'-0" OVERHANG) 27% OF TOTAL STALLS

ACCESSIBLE & DESIGNATED PARKING STALLS (REQUIRED AND PROVIDED):

PER 2022 CBC TABLE 11B-208.2: 151 TO 200 STALLS, 6 STALLS REQUIRED TO BE ACCESSIBLE STALLS: EVERY 6 OR FRACTION OF SIX, AT LEAST ONE SHALL BE VAN PARKING, 6 ADA STALLS (INCLUDING 1 VAN ACCESSIBLE STALL) PROVIDED.

PER 2022 CALIFORNIA GREEN BUILDING CODE TABLE 5.106.5.3.1: 151 TO 200 STALLS, 35 STALLS REQUIRED TO BE EV CAPABLE SPACES, AND 9 OF THOSE ARE REQUIRED TO BE PROVIDED WITH EVSE.

PER CBC TABLE 11B-228.3.2.1, 26 TO 50 EVCS STALLS: 1 VAN ACCESSIBLE EVCS, 1 STANDARD ACCESSIBLE EVCS AND 1 AMBULATORY EVCS ARE REQUIRED.
 OF THE 36 EVCS PROVIDED, 1 VAN EVCS, 1 STANDARD ADA EVCS, AND 1 AMBULATORY EVCS ARE PROVIDED AS SHOWN.

BICYCLE PARKING PER SANTA ROSA ZONING CODE 20-36.040 TABLE 3.4
 1 SPACE PER 14,000 SF, OR AS DETERMINED BY CUP.
 114,883.67 SF. / 14,000 SF. = 8.21 = 9 REQUIRED BICYCLE PARKING STALLS

*LONG TERM BICYCLE PARKING TO BE PROVIDED INSIDE THE BUILDING AT TIME OF FUTURE TENANT IMPROVEMENTS

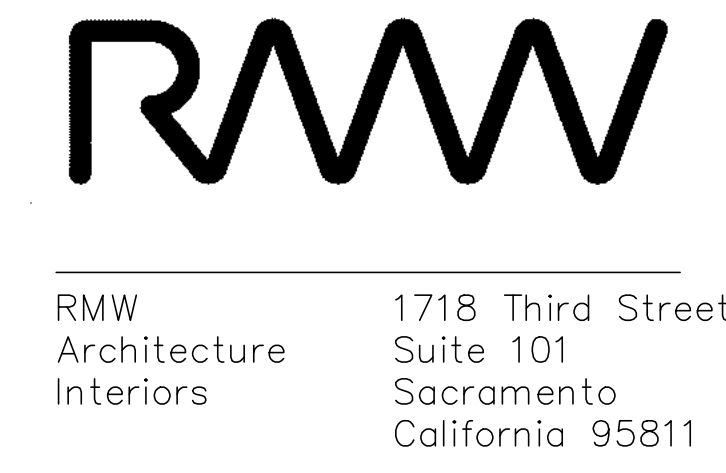
SITE LEGEND:

- BUILDING AREA
- ASPHALT AREA
- SITE CONCRETE
- LANDSCAPE AREA
- STORM WATER RETENTION AREA

- EXISTING PROPERTY LINE
- FIRE DEPARTMENT TURN RADIUS:
- 9' X 10' OVERHEAD DOCK LEVEL DOOR
- 12' X 14' OVERHEAD GRADE LEVEL DOOR

KEYNOTES:

- 1 EXISTING PROPERTY LINES.
- 2 EXISTING SEWER LINE, SEE CIVIL DRAWINGS
- 3 STRIPED PATH OF TRAVEL TO TRASH ENCLOSURE
- 4 PARKING AISLE TO BE PERVIOUS ASPHALTIC CONCRETE, SEE CIVIL DRAWINGS FOR MORE INFO
- 5 TYPICAL 6" TALL X 6" WIDE CONCRETE CURBS, SEE CIVIL DRAWINGS
- 6 TYPICAL 4" WIDE TRAFFIC STRIPING
- 7 TYPICAL PARKING:
 - A. STANDARD STALLS: 9' X 19' OR 9' X 17' WITH 2' PARKING OVERHANG.
 - B. COMPACT STALLS: 8' X 16' OR 8' X 14' WITH 2' PARKING OVERHANG.
 - C. ACCESSIBLE PARKING STALLS: 9' X 18' MAX. WITH 2' PARKING OVERHANG WITH MINIMUM 5' OR 8' WIDE LOADING ZONE AS SHOWN, SEE DETAIL 12/A01.1.
 - D. ELECTRIC VEHICLE CHARGING SPACES (STALLS LABELED "ELECTRIC VEHICLE CHARGING"), TO FOLLOW REQUIREMENTS PER CBC 5.106.5.3.1.
 - E. ACCESSIBLE ELECTRIC VEHICLE CHARGING STALLS, VAN, STANDARD, AND AMBULATORY.
- 8 TYPICAL DRIVE ISLE, 26'-0" WIDE MINIMUM
- 9 CURB RAMP, SEE DETAIL 9/A01.1
- 10 PROPOSED LOCATION OF NEW SITE ACCESS DRIVE CURB CUT, SEE CIVIL DRAWINGS
- 11 NEW CONCRETE PEDESTRIAN WALKS, ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%) WHERE PARKING OVERHANG OCCURS, INCREASE WIDTH OF SIDEWALK TO 6'-0" MIN.
- 12 PROPOSED BUILDING EXTERIOR WALLS TO BE SITE CAST TILTED CONCRETE WALLS WITH REVEALS, A TEXTURED ELASTOMERIC COATING AND A MULTI-COLOR PAINT PALLET. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
- 13 TRASH ENCLOSURE W/ 40FT. APPROACH, SEE DETAILS 1 & 2/A01.1
- 14 TYPICAL LANDSCAPE PLANTER AREA, SEE LANDSCAPE DRAWINGS
- 15 SEMI TRACTOR TRAILER TEMPLATE SHOWN FOR REFERENCE ONLY
- 16 60" DEPRESSED CONCRETE TRUCK DOCK
- 17 LOADING DOCK VERTICAL LIFT DOORS, TYPICAL
- 18 GRADE LEVEL VERTICAL LIFT DOORS, TYPICAL
- 19 GREEN DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL AT PUBLIC SIDEWALK, TYP.
- 20 LOCATION OF SITE ENTRY SIGN REGARDING PARKING IN ACCESSIBLE PARKING STALLS. SEE DETAIL 15/A01.1
- 21 CURB WITH GUARDRAIL AT EACH SIDE OF LOADING DOCKS, WITH 6" CURB PAINTED "SAFETY YELLOW", TYP. SEE DETAIL 18/A01.1
- 22 STORM WATER RETENTION BASIN, SEE CIVIL DRAWINGS
- 23 BICYCLE RACKS, SEE DETAIL 14/A01.1
- 24 RED DASHED LINE INDICATES FIRE LANES. FIRE LANES TO BE MARKED WITH SIGNS EVERY 50 FEET STATING "NO PARKING FIRE LANE" PER SACRAMENTO METROPOLITAN FIRE DISTRICT STANDARDS.
- 25 DASH-DOT INDICATES AREA OF ASSISTED RESCUE
- 26 LANDSCAPE SETBACK, SEE LANDSCAPE DRAWINGS.
- 27 DASHDOT LINE INDICATES FIRE DEPARTMENT TURNING RADIUS. SEE TYPICAL FIRE TURN RADIUS DIAGRAM 17/A01.1
- 28 SITE LIGHTING 16' MAX. HEIGHT. SEE PHOTOMETRIC PLANS
- 29 DASHED LINE INDICATED 2'-0" PARKING OVERHANG.
- 30 PROPOSED TRUCK ACCESS DRIVE AISLE
- 31 EXISTING STREET LIGHT
- 32 EXISTING UTILITIES, PROTECT. SEE CIVIL DRAWINGS
- 33 EXISTING FIRE HYDRANTS, SEE CIVIL DRAWINGS
- 34 EXISTING MONITORING WELLS, SEE CIVIL DRAWINGS
- 35 EXISTING ELECTRICAL TRANSFORMER AND PG&E, SEE CIVIL DRAWINGS
- 36 PROPOSED NEW SIDEWALK, SEE CIVIL AND LANDSCAPE DRAWINGS
- 37 8' TALL CMU OR CONCRETE TILT-UP, INTEGRALLY COLORED SOUND MITIGATION WALL, AT TOP OF SWALE SLOPE, PLANTED WITH CLIMBING VINES ON SOUTH SIDE FACE. SEE DETAIL 19/A01.1
- 38 TOP OF CREEK BANK, SEE CIVIL DRAWINGS
- 39 30' SETBACK FROM TOP OF CREEK BANK, SEE CIVIL DRAWINGS



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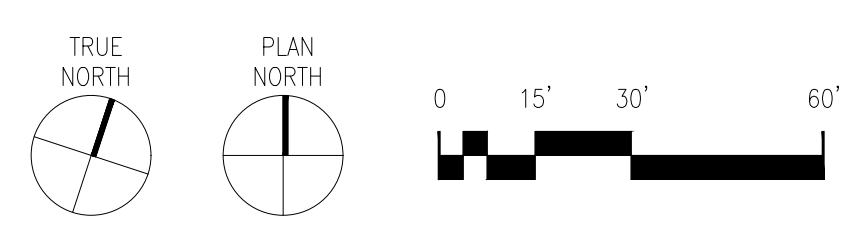
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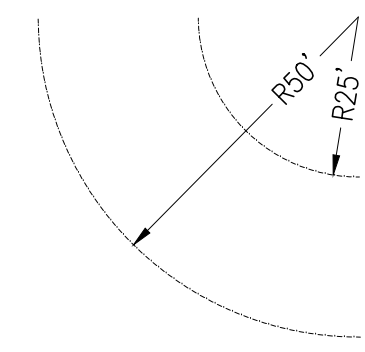
scale: AS NOTED
 project number: 2204025.00

PRELIMINARY SITE PLAN

sheet no.: **A01.0**



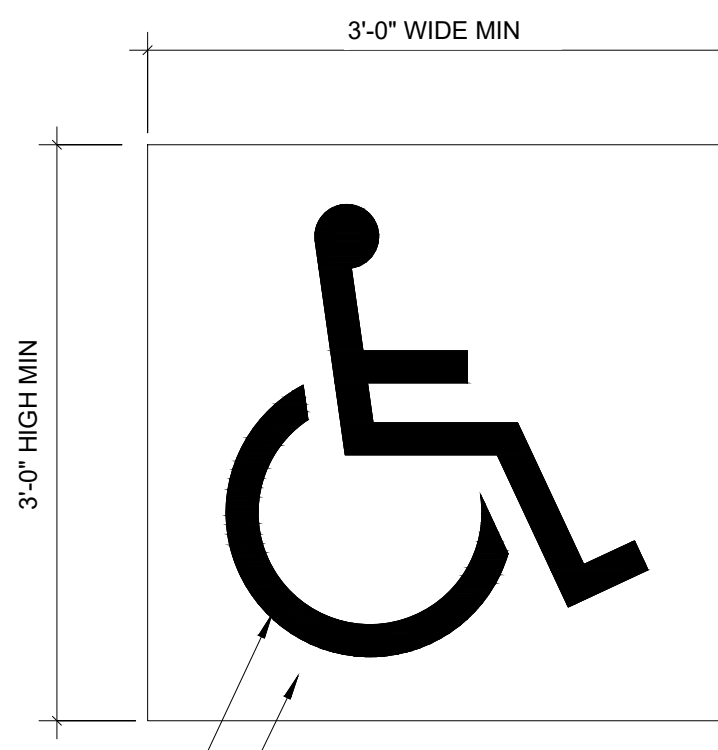
PRELIMINARY SITE PLAN
 SCALE: 1" = 30'-0"



TYPICAL FIRE TURN RADIUS

SCALE: 1" = 30'-0"

17



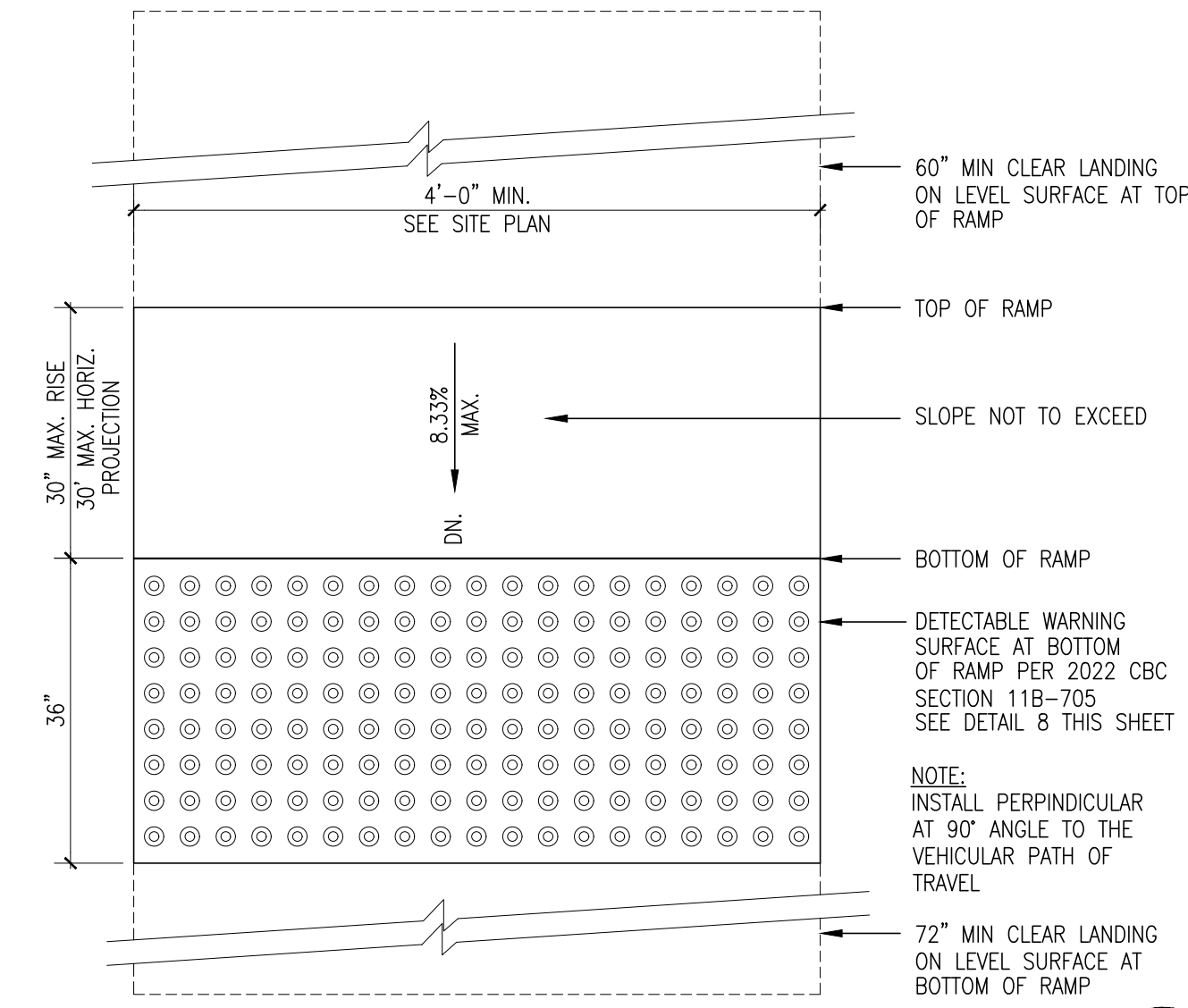
BLUE BACKGROUND COLOR SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C
INTERNATIONAL SYMBOL OF ACCESSIBILITY
COLOR: WHITE

NOTES:
1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ITS BACKGROUND SHALL HAVE A NON-GLARE FINISH.
2. CHECK W/ THE LOCAL AUTHORITY HAVING JURISDICTION FOR REQUIREMENTS OTHER THAN THOSE SHOWN IN THIS DETAIL.

ACCESSIBLE SYMBOL AT ACCESSIBLE PARKING STALLS

SCALE: 1" = 1'-0"

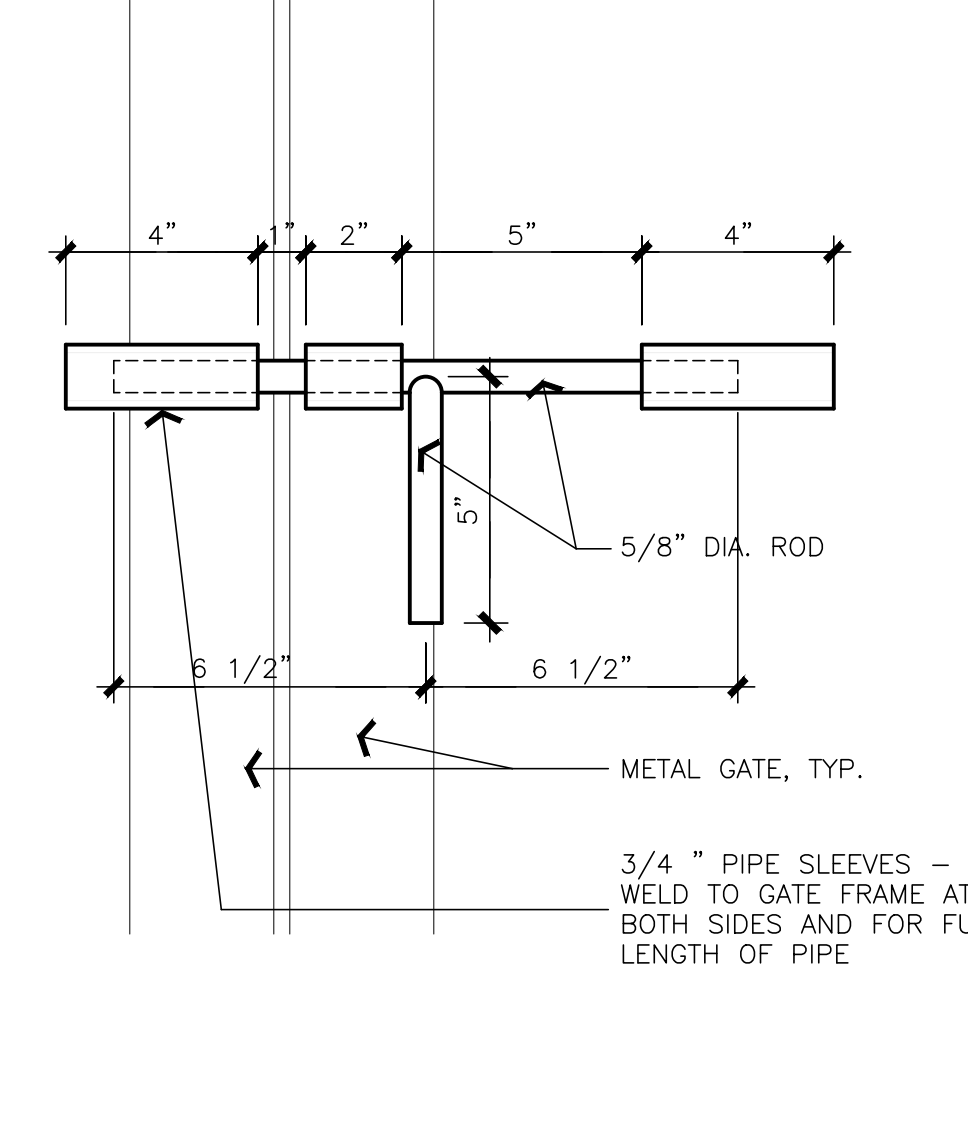
13



TYPICAL RAMP DETAIL

SCALE: 1" = 1'-0"

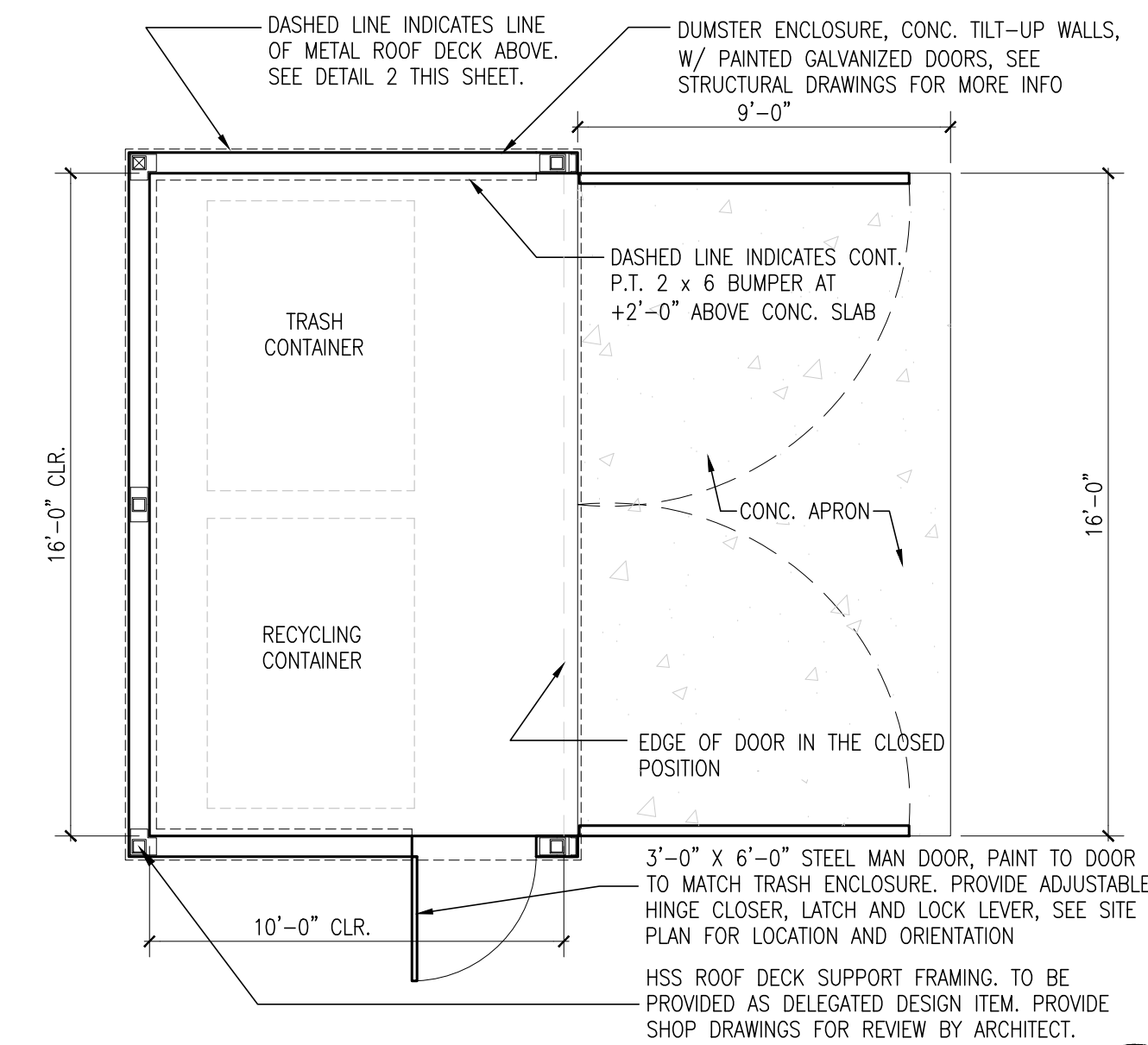
9



SIDE BOLT ELEVATION AT HEAD

SCALE: 3" = 1'-0"

5



DUMPSTER ENCLOSURE PLAN

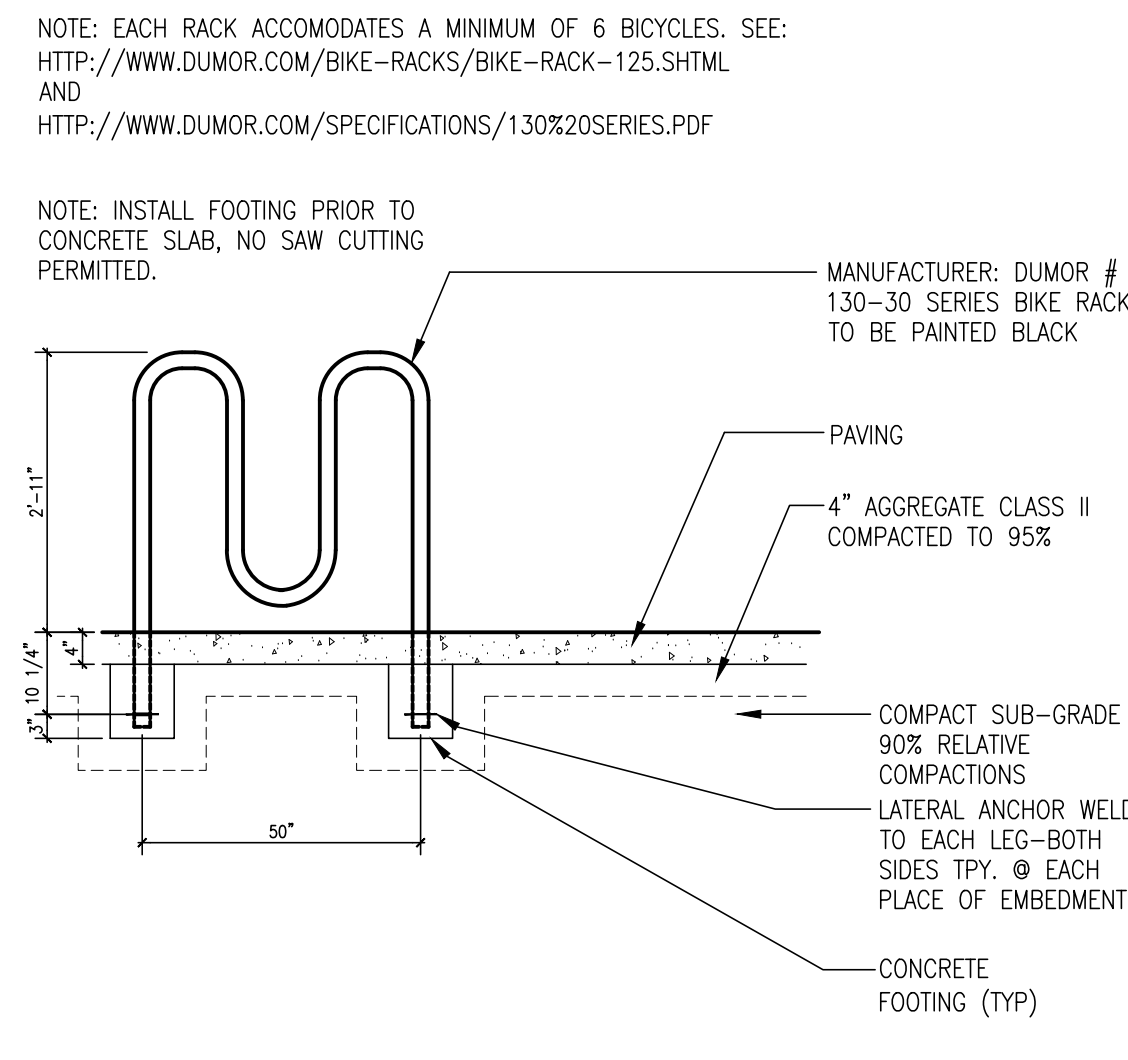
SCALE: 1/4" = 1'-0"

1

DURA BIKE LOCKER
A DIVISION OF HANJIAN SPECIALTIES INC.
Made in the USA

DIMENSION SHEET FOR MODEL: DL2
Standard Locker with a Divider Panel

3790 BRADYWAY DR., SACRAMENTO, CA 95827
(916) 363-7225 • (800) 722-BIKE (2453)



BIKE RACK

SCALE: 1/2" = 1'-0"

14

BIKE STORAGE

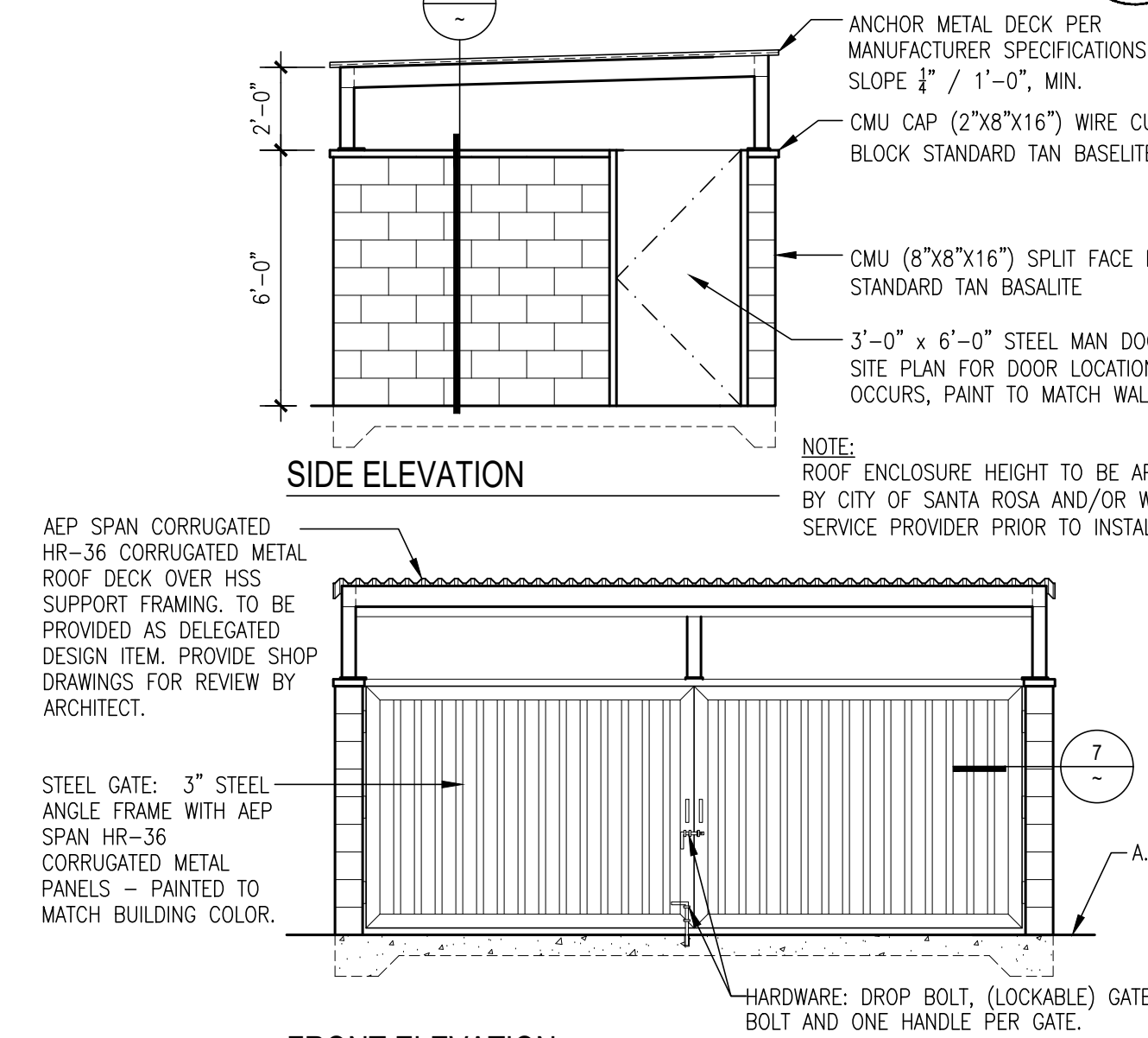
SCALE: N.T.S.

10

HINGE ELEVATION, TYP.

SCALE: 3" = 1'-0"

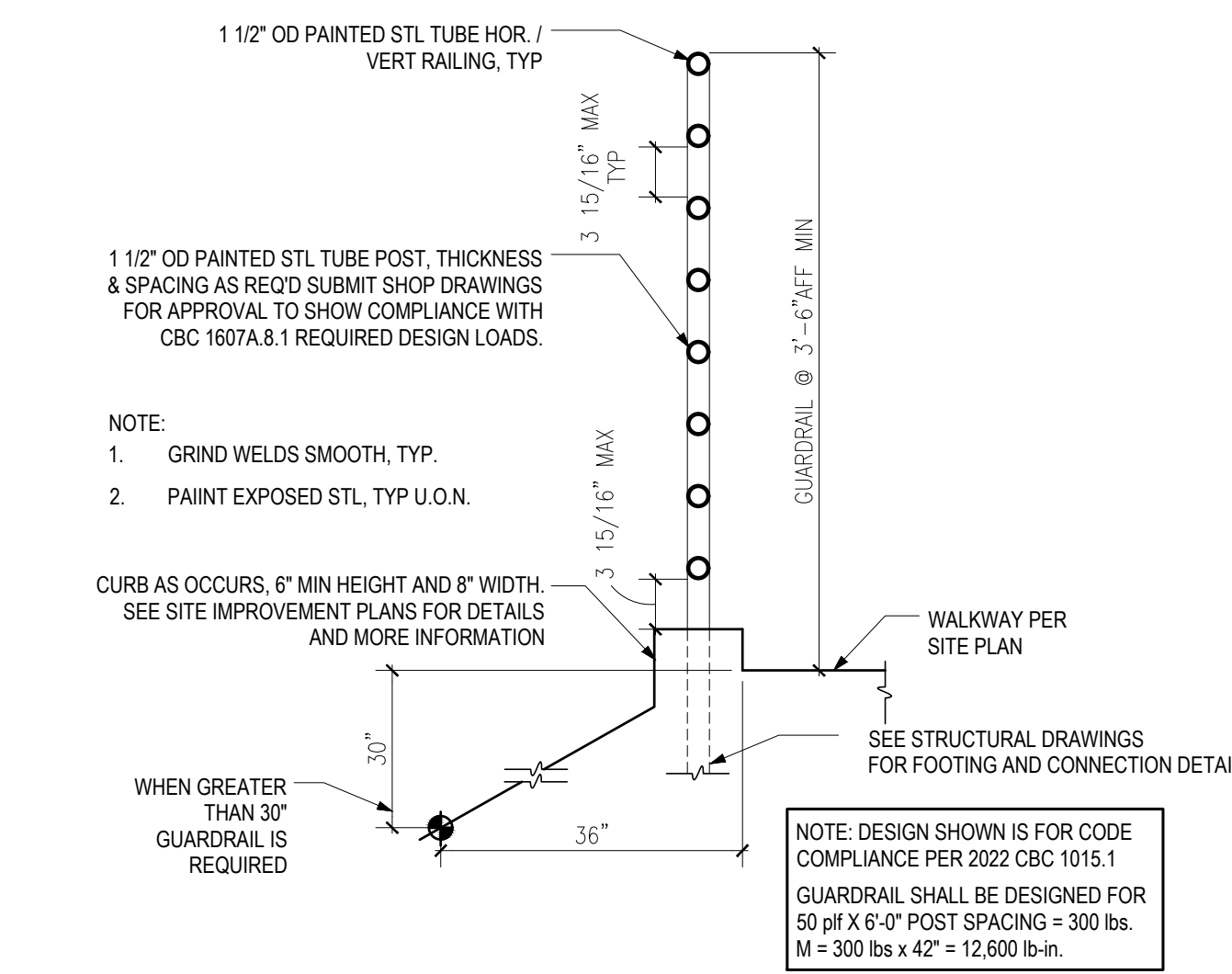
6



DUMPSTER ELEVATIONS

SCALE: 1/4" = 1'-0"

2

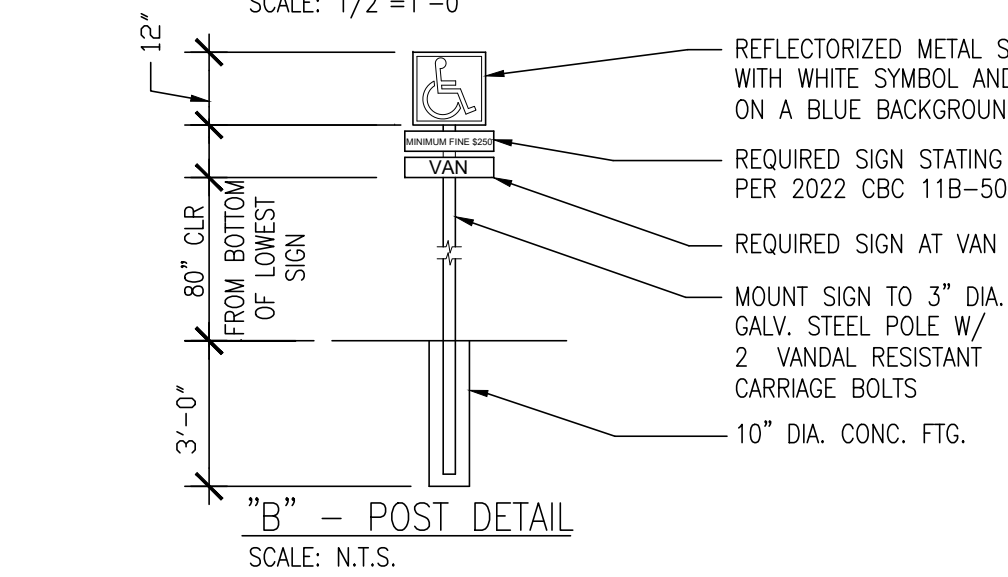
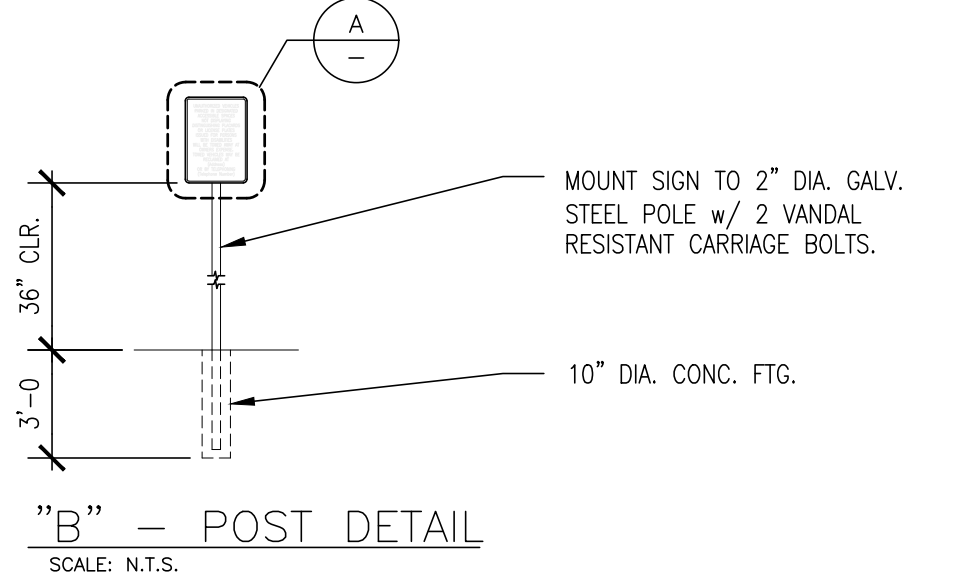
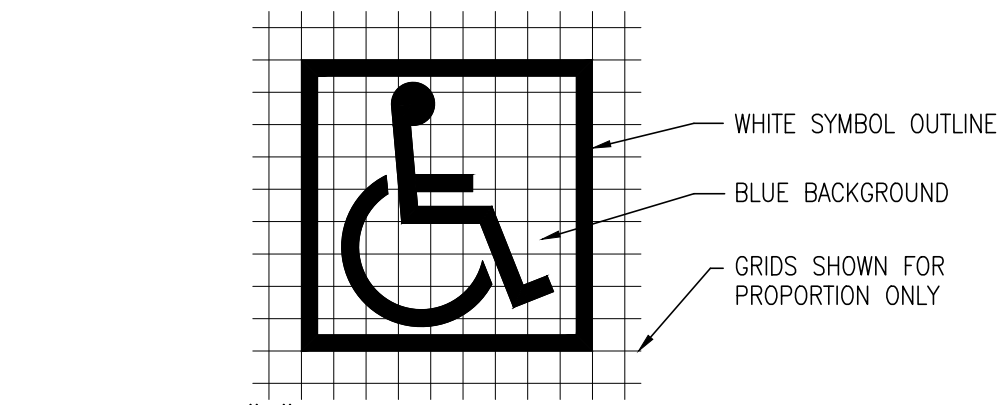
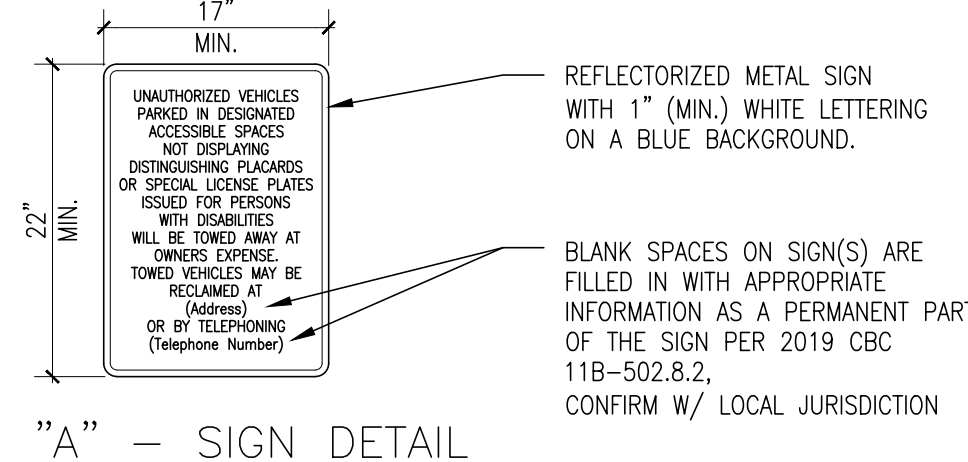


GUARDRAIL

SCALE: 1" = 1'-0"

18

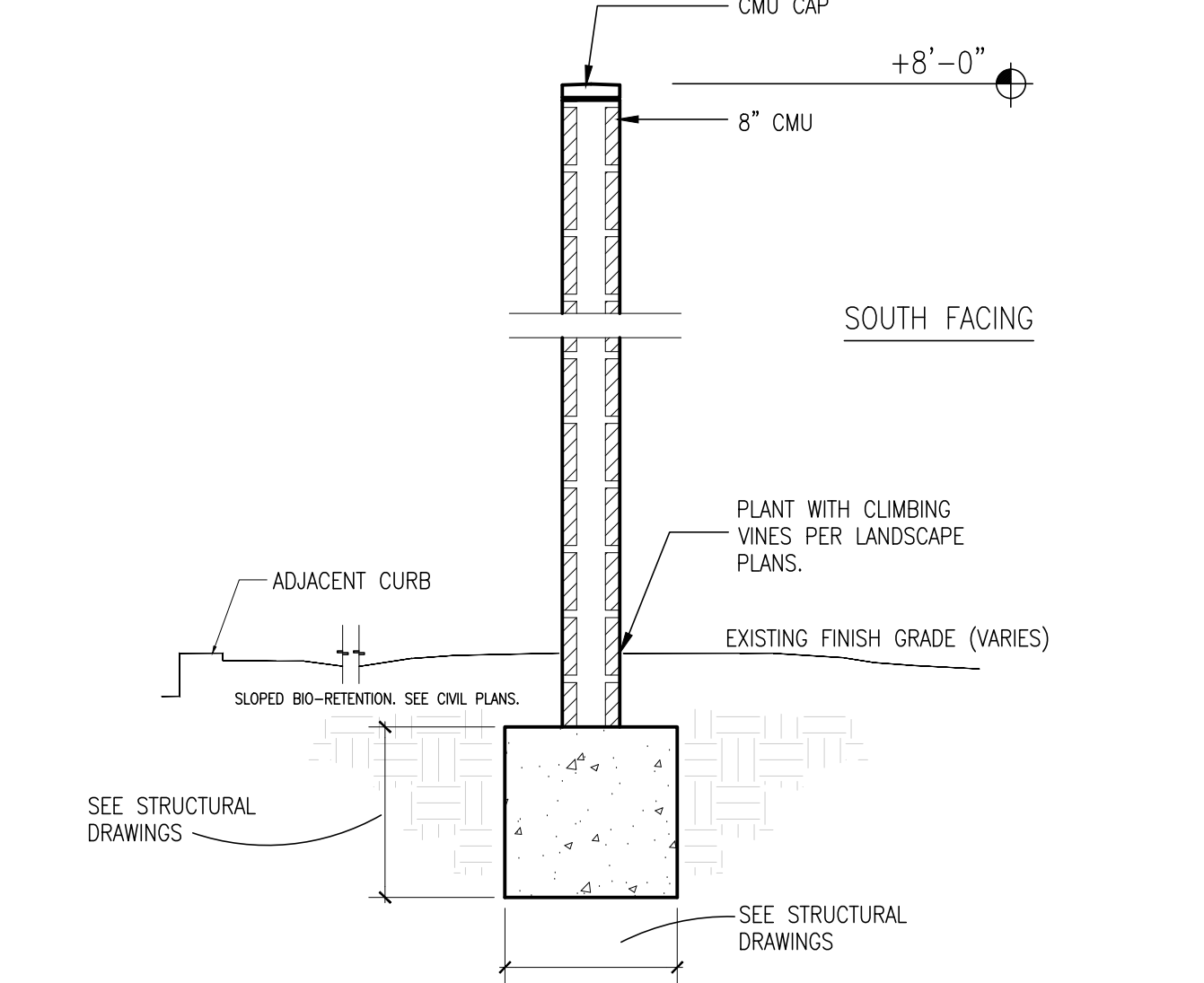
NOTE: UNAUTHORIZED VEHICLE PARKING SIGN SHALL BE PLACED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR VISIBLE FROM EACH PARKING SPACE, AS REQUIRED PER CBC 11B-502.8.



SIGN AT ACCESSIBLE PARKING STALLS

SCALE: NO SCALE

11



SOUND WALL SECTION

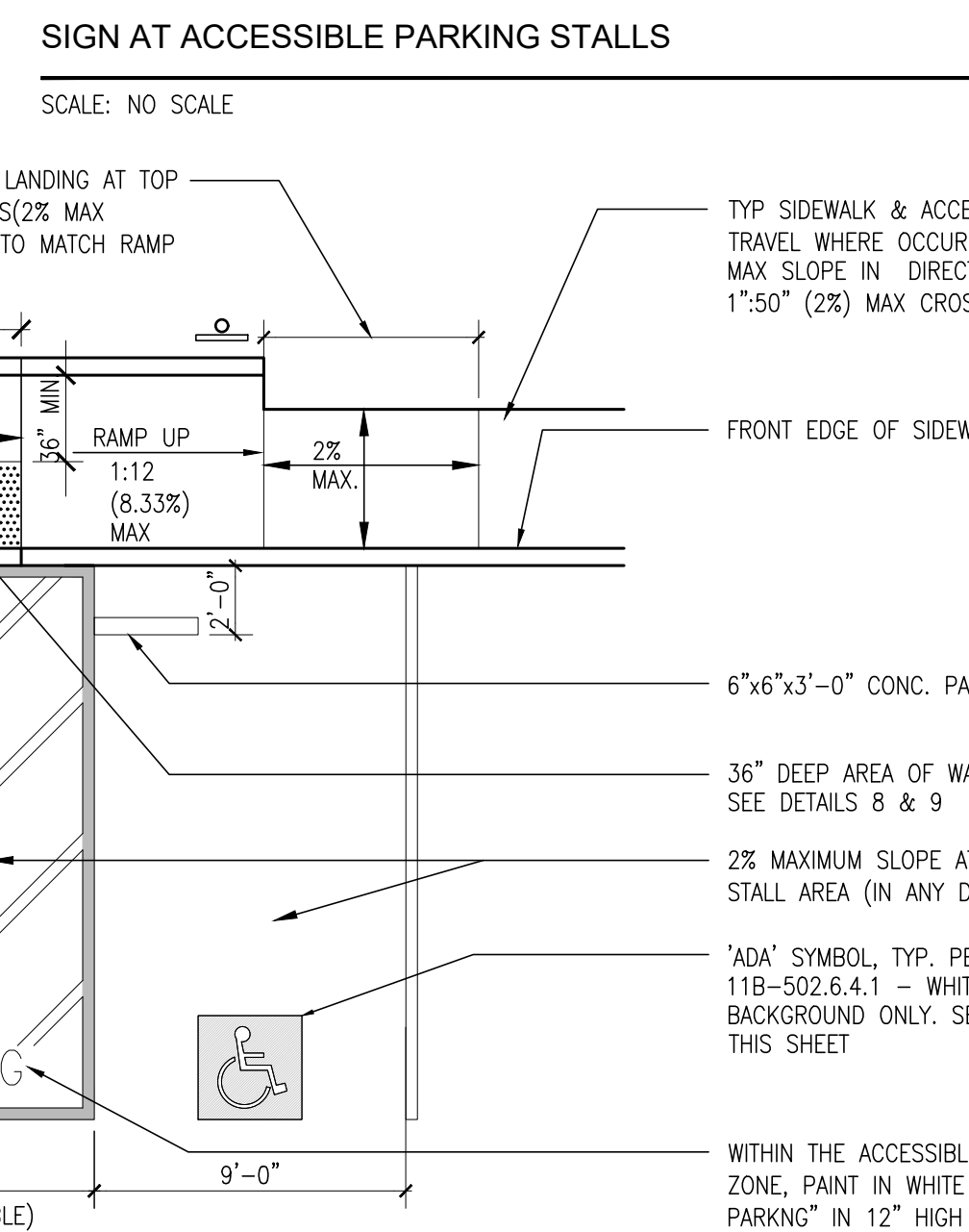
SCALE: 1/2" = 1'-0"

19

SITE ENTRY ACCESSIBLE SIGN

SCALE: 3/16" = 1'-0"

15



DOUBLE ACCESSIBLE STALLS

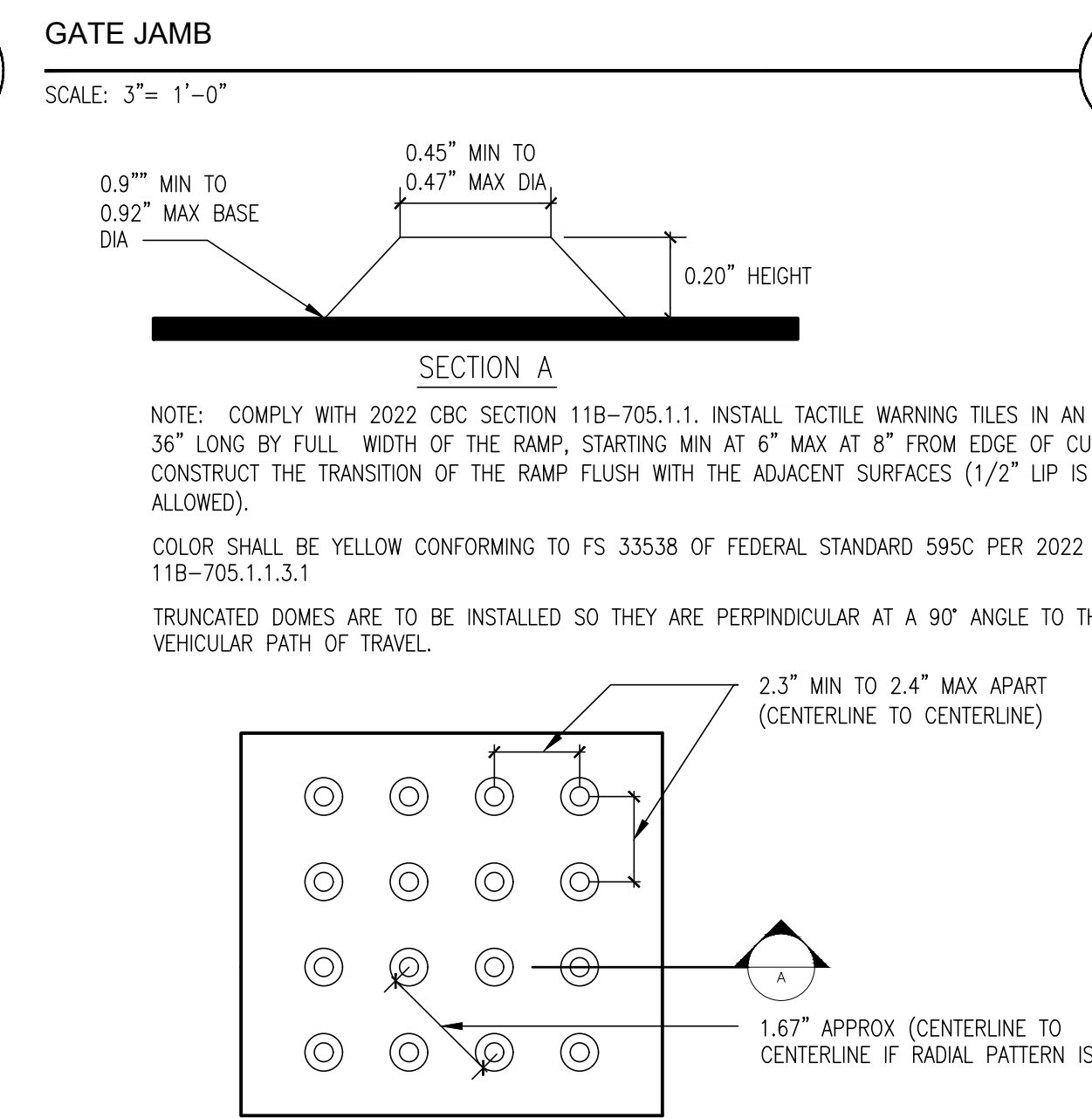
SCALE: 3/16" = 1'-0"

12

WARNING DOMES AT SITE RAMPS

SCALE: N.T.S.

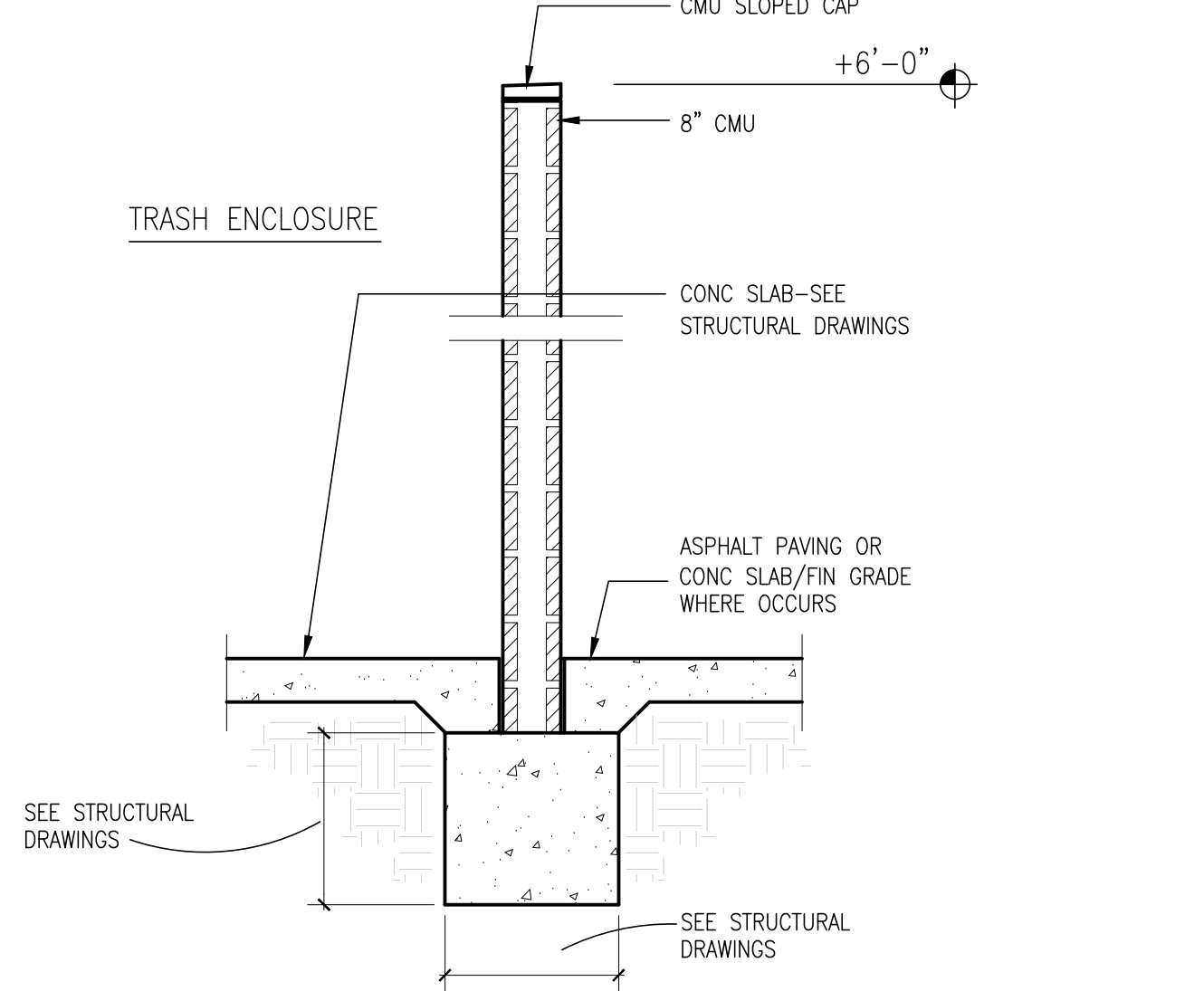
7



GATE JAMB

SCALE: 3" = 1'-0"

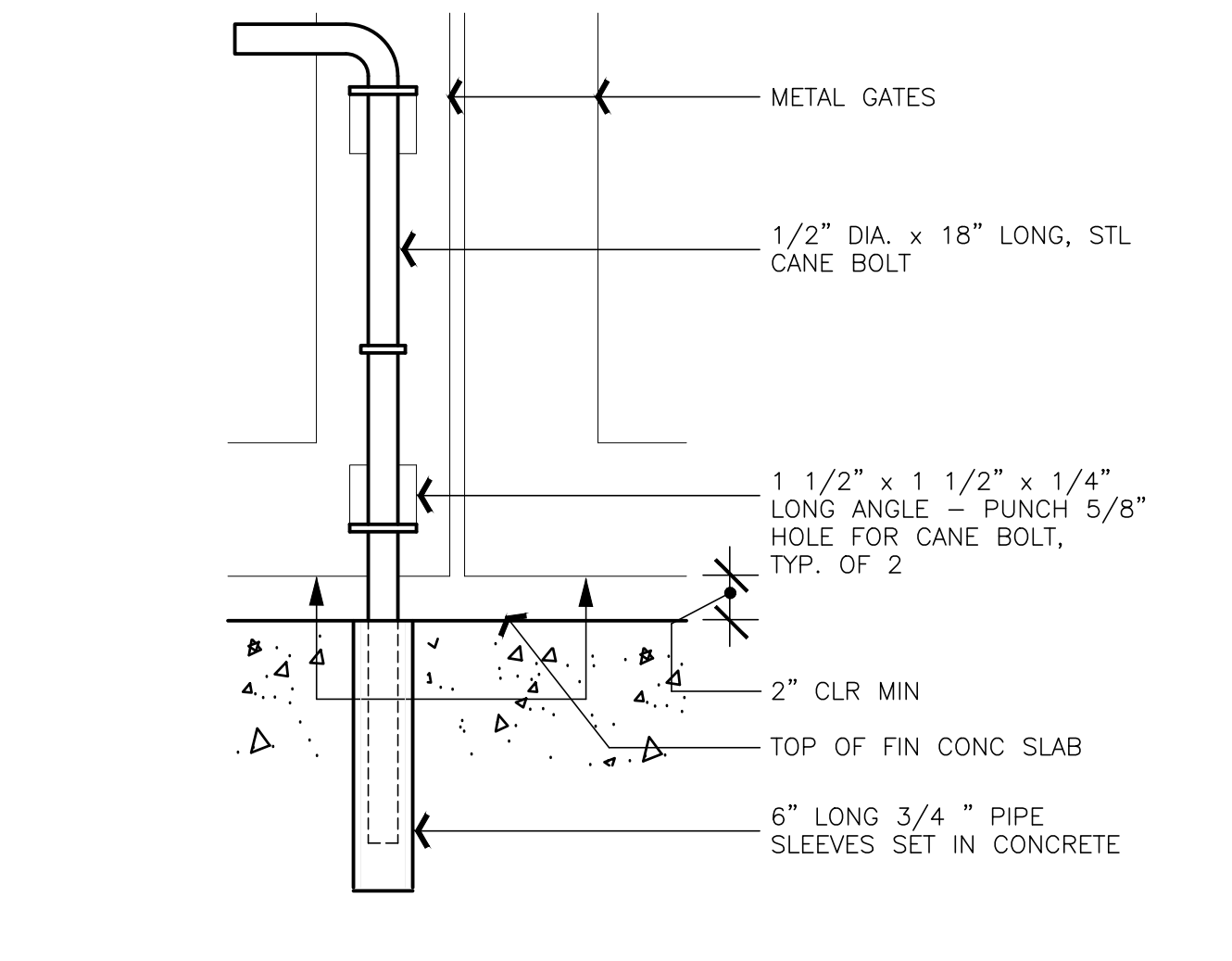
7



TRASH ENCLOSURE WALL SECTION

SCALE: 1/2" = 1'-0"

3



CANE BOLT SECTION

SCALE: 3" = 1'-0"

4

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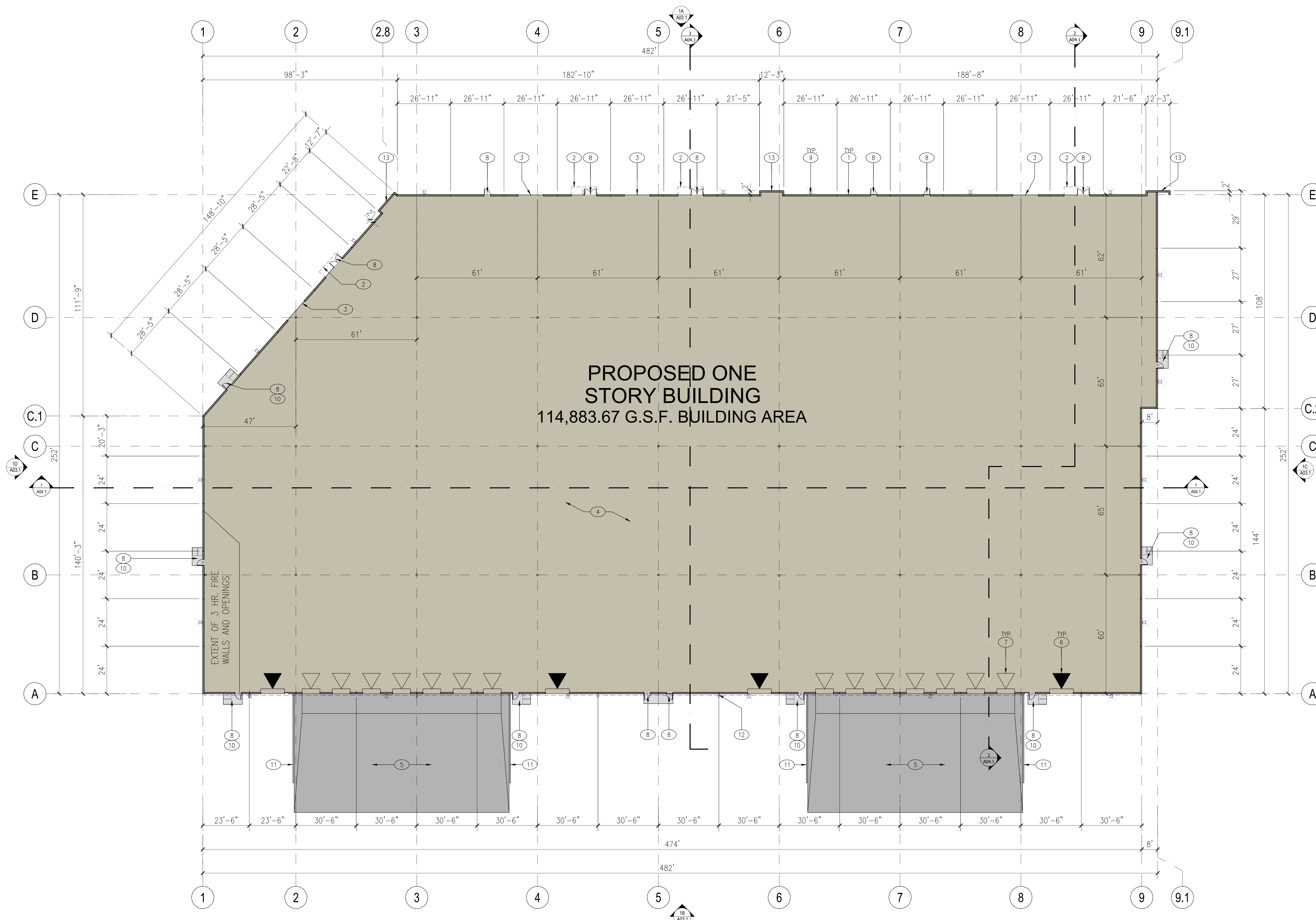
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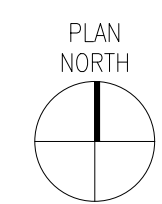
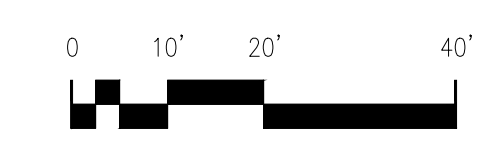
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PROPOSED ONE STORY BUILDING
114,883.67 G.S.F. BUILDING AREA

EXTENT OF 3 HR. FIRE WALLS AND OPENINGS!



FLOOR PLAN
SCALE: 1" = 20'-0"

1

KEYNOTES:

- | | |
|--|---|
| <ul style="list-style-type: none"> ① TYPICAL EXTERIOR WALLS TO BE TILT-UP CONCRETE WITH REVEALS AND A MULTICOLORED TEXTURED ELASTOMERIC FINISH SYSTEM. SEE EXTERIOR ELEVATIONS, SHEETS A03.1 ② LINE OF ENTRY CANOPY ABOVE, SEE EXTERIOR ELEVATIONS, SHEETS A03.1 ③ TINTED GLAZING IN ALUMINUM FRAMES ④ CONCRETE FLOOR SLAB ⑤ DEPRESSED CONCRETE TRUCK DOCK ⑥ 12' X 14' GRADE LEVEL ROLL UP DOOR ⑦ 9' X 10' DOCK LEVEL ROLL UP DOOR ⑧ 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS ⑨ BUILDING WALL LIGHTS ABOVE, TYP. SEE PHOTOMETRIC DRAWINGS | <ul style="list-style-type: none"> ⑩ DASH-DOT OUTLINE INDICATED AREA OF ASSISTED RESCUE ⑪ 6" TALL X 8" WIDE CONCRETE CURB AT EACH SIDE OF TRUCK DOCK, PAINT GUARDRAIL "SAFETY YELLOW". SEE DETAIL 1B, SHEET A01.1. ⑫ CONTINUOUS GUTTERS AND DOWNSPOUTS, SEE EXTERIOR ELEVATIONS, SHEET A03.1 ⑬ TILT-UP CONCRETE WING WALL. SEE EXTERIOR ELEVATIONS A03.1 FOR FINISH AND COLOR |
|--|---|

drawn by: TLG plot date: 09-15-2021

checked by: AGUDL

stamp



scale: AS NOTED

project number: 2204025.00

FLOOR PLAN

sheet no.:

A02.1

CLIENT:

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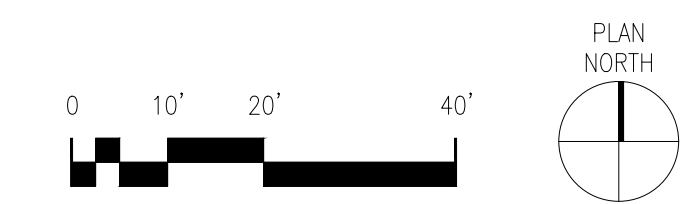
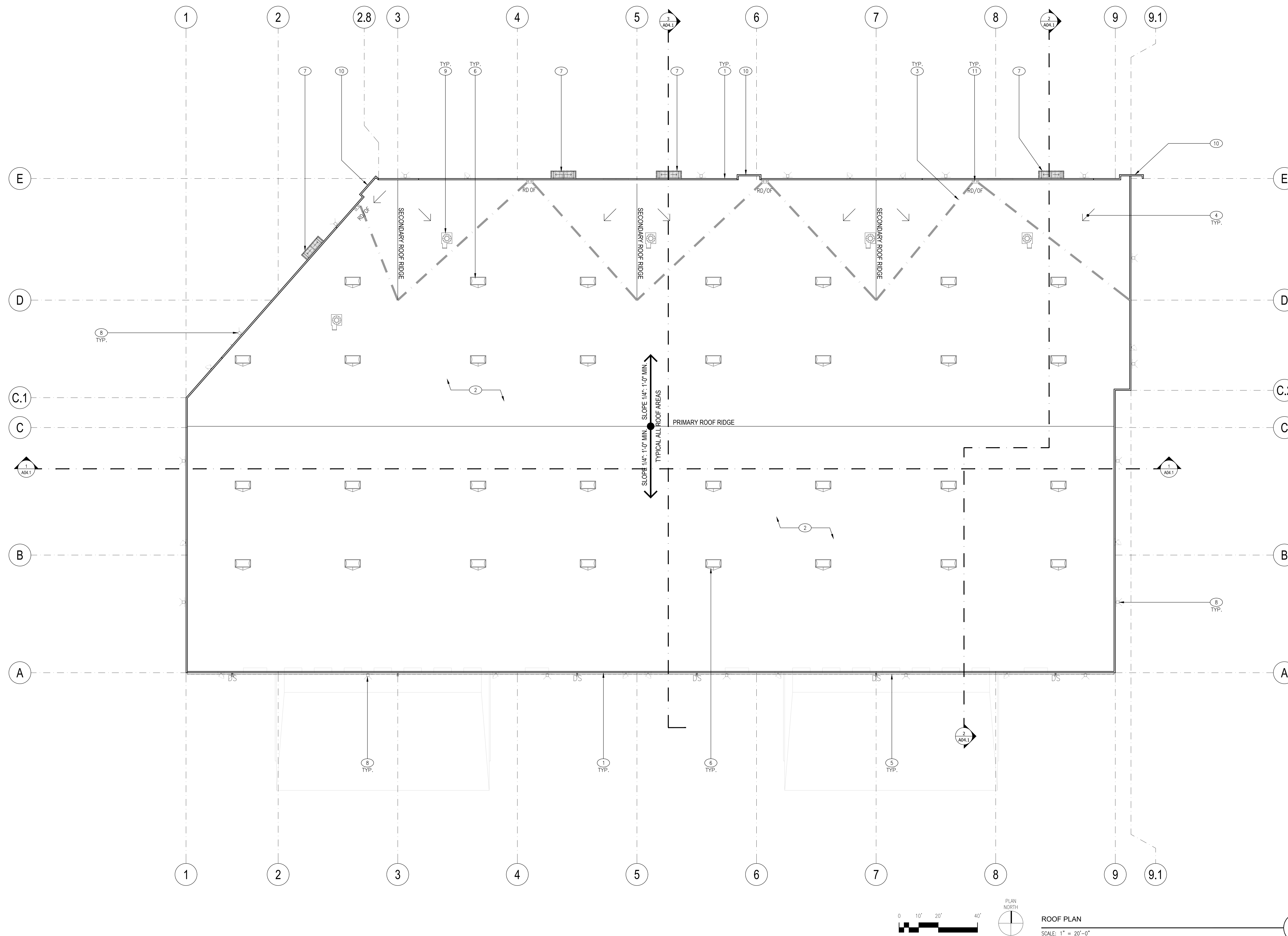
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ROOF PLAN
SCALE: 1" = 20'-0"

KEYNOTES:

- | | |
|---|---|
| <p>1 LINE OF TYPICAL PARAPET WALL</p> <p>2 TYPICAL LOW SLOPE ROOF 1/4" PER 12" MIN. SLOPE. ROOF ASSEMBLY CONSISTS OF A TPO SINGLE PLY SYSTEM OVER 1/2" STRUCTURAL SHEATHING OVER SLOPED STRUCTURAL FRAMING.</p> <p>3 THICK DASHED GRAY LINE INDICATES WARPED ROOF AREA</p> <p>4 INDICATES DIRECTION OF ROOF SLOPE</p> <p>5 CONTINUOUS METAL GUTTER AND DOWNSPOUTS. PAINT TO MATCH ADJACENT BUILDING. SEE EXTERIOR ELEVATIONS FOR FINISH COLOR</p> <p>6 INDICATES LOCATION OF 4' X 8' SELF-DURRING DUAL DOME SKYLIGHT. PROVIDE SHAPED FOAM CRICKET AT HIGH SIDE(S) OF SKYLIGHT CURB TO PROVIDE SLOPE FOR DRAINAGE</p> <p>7 ENTRY STEEL CANOPY BELOW. SEE EXTERIOR ELEVATIONS, SHEET A03.1 FOR FINISHES.</p> <p>8 EXTERIOR LED WALL LIGHTS. SEE SHEET A03.1</p> | <p>9 POTENTIAL LOCATION OF FUTURE ROOF MOUNTED HVAC EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE DETERMINED AT TIME OF TENANT IMPROVEMENTS AND SHALL BE SCREENED FROM VIEW BY NATURE OF ITS PLACEMENT OR BY A FUTURE MECHANICAL SCREEN.</p> <p>10 EXTERIOR TILT-UP CONCRETE ACCENT WALL. SEE SHEET EXTERIOR ELEVATIONS, SHEET A03.1.</p> <p>11 INTERNAL ROOF AND ROOF-OFFLOW DRAINS</p> |
|---|---|

drawn by : TLG plot date : 09-15-2021

checked by : AGUJDL



scale : AS NOTED

project number : 2204025.00

ROOF PLAN

sheet no. :

CLIENT:

McNeill Real Estate Services
Joseph A McNeill, III

916 718 5659
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

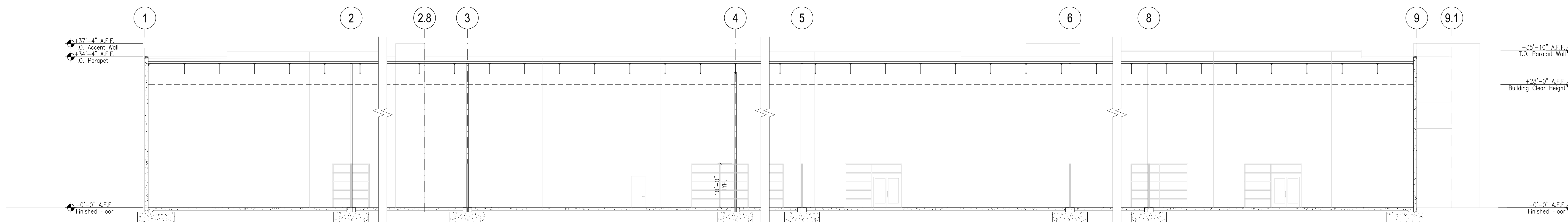
NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

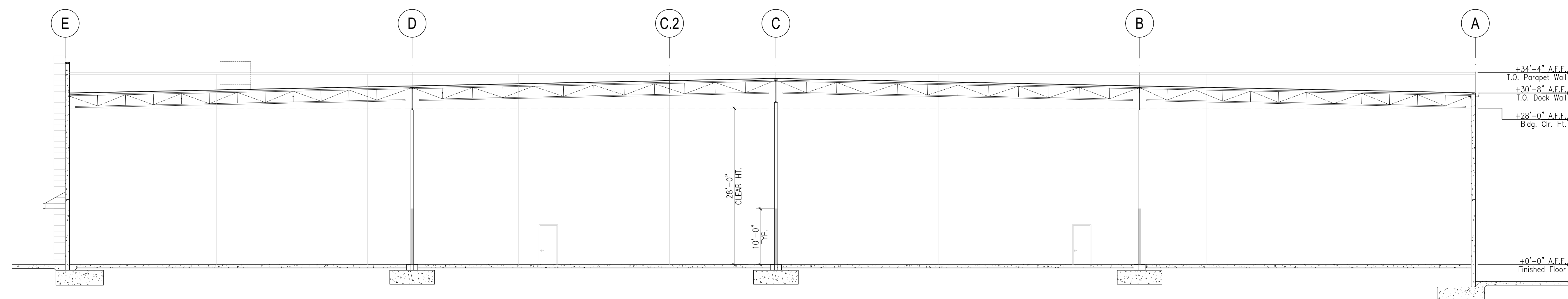
issue	description	date
A	ISSUED FOR REVIEW	09-15-2023



PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

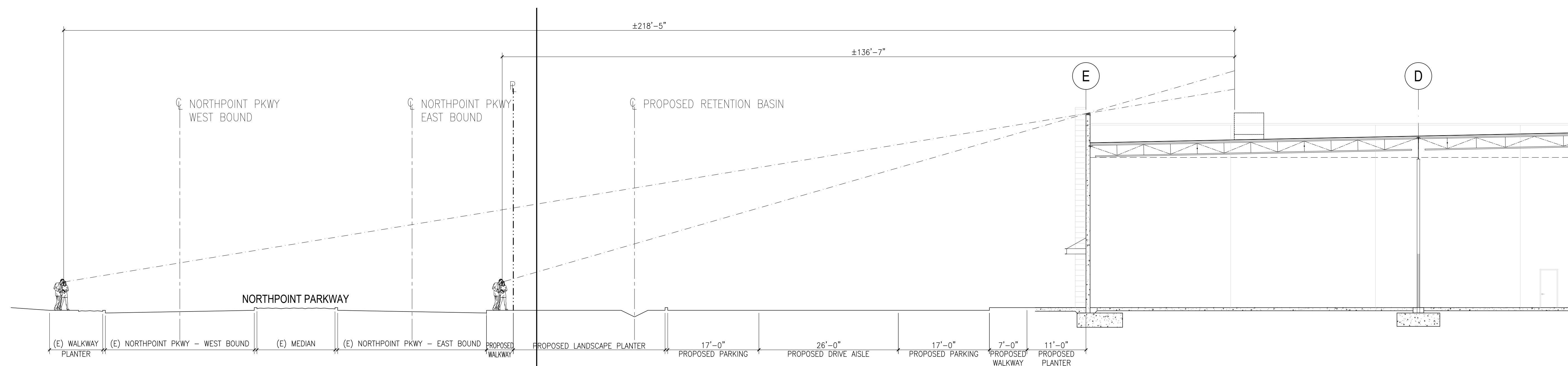
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PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

2



LINE OF SIGHT SECTION @ NORTHPOINT PARKWAY

SCALE: 1" = 10'-0"

3

drawn by: TLG plot date: 09-15-2023

checked by: AGUJDL

stamp



scale: AS NOTED

project number: 2204025.00

BUILDING SECTIONS/ LINE OF SIGHT SECTION

sheet no.:

CLIENT:

McNeill Real Estate Services
Joseph A McNeill, III

916 718 5659
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

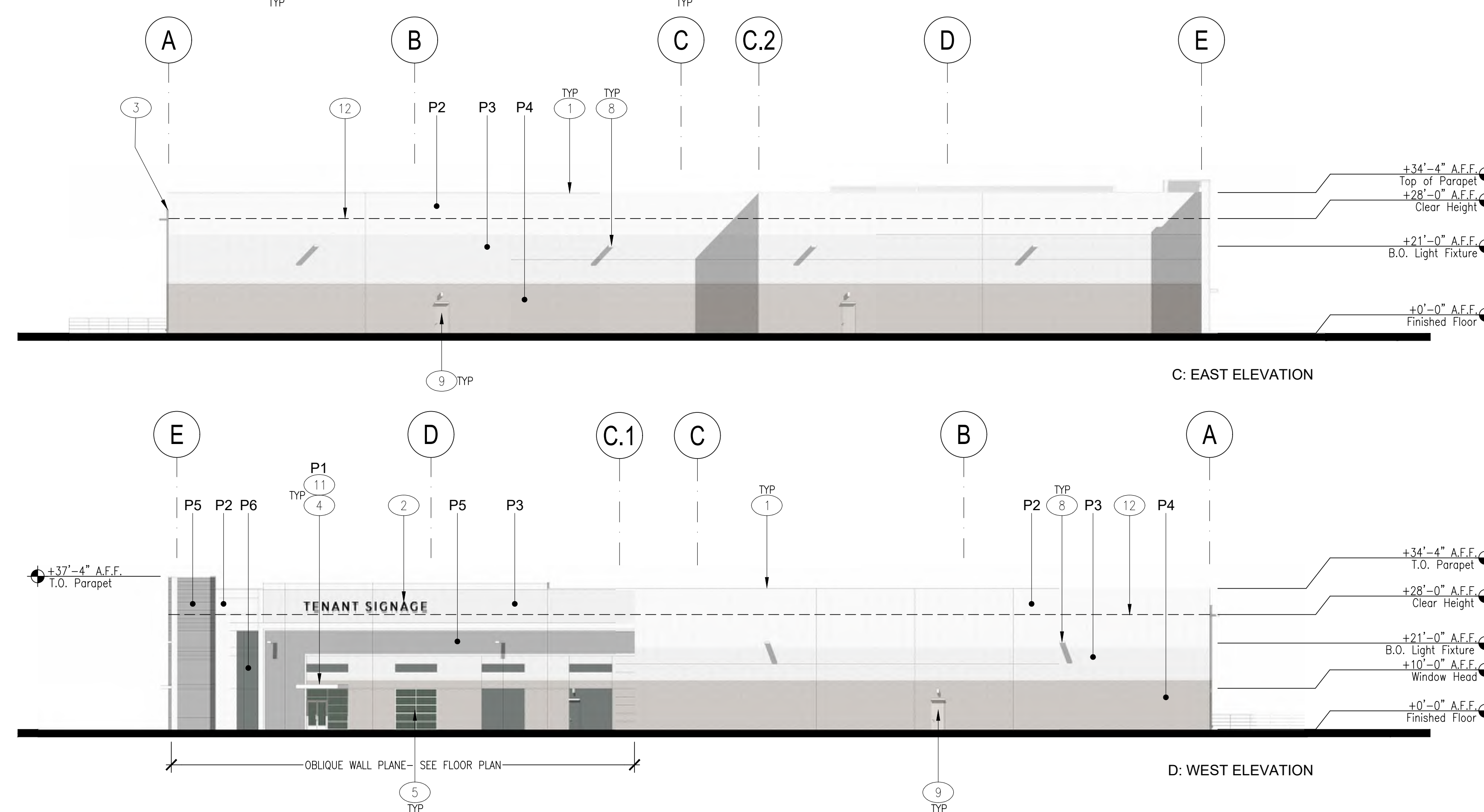
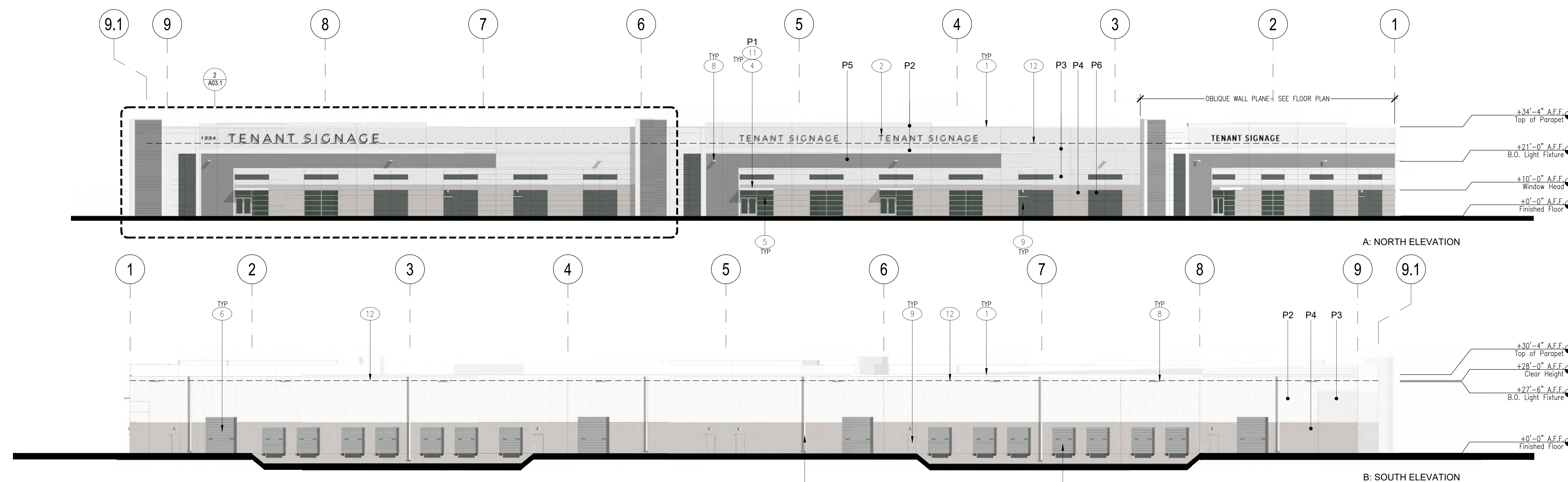
NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY
SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

issue :	description :	date :
A	ISSUED FOR REVIEW	09-15-2023



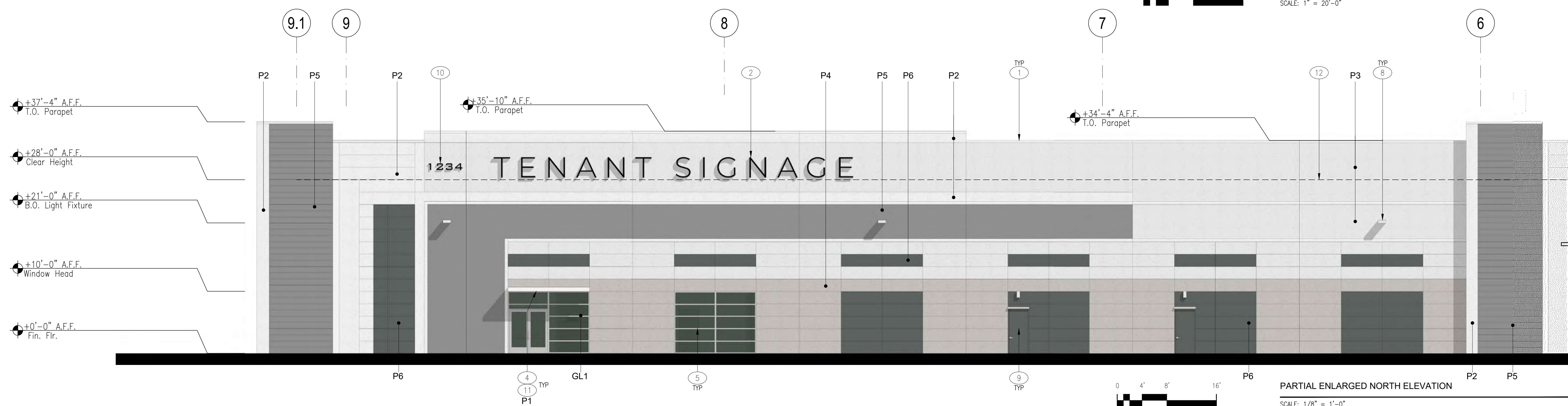
KEYNOTES:

- 1 TYPICAL SITE CAST, CONCRETE TILT-UP PANELS WITH 3/4" REVEALS AND A MULTI COLOR TEXTURED COATING SYSTEM.
- 2 TENANT SIGNAGE UNDER SEPARATE PERMIT.
- 3 CONTINUOUS GUTTER AND SURFACE MOUNTED DOWNSPOUTS.
- 4 12" THICK x 3'-11" DEEP PAINTED STEEL CHANNEL CANOPIES, 3 TOTAL. PAINT AS SPECIFIED. TYPICAL AT MAIN ENTRANCE STOREFRONT OPENINGS.
- 5 TYPICAL WINDOW SYSTEM: DUAL PANE GLAZING IN 2" x 4" (NOMINAL) THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. OUTER GLAZING PANE TO BE TINTED WITH LOW-E COATING ON INTERIOR SURFACE. INNER PANE CLEAR FLOAT. STOREFRONT DOORS WHERE SHOWN. 4 STOREFRONT LOCATIONS TOTAL.
- 6 12' X 14' GRADE LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
- 7 9' X 10' DOCK LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
- 8 EXTERIOR WALL PACK LIGHTING. SEE PHOTOMETRIC DRAWINGS.
- 9 3' X 7' STEEL MAN DOOR WITH EMERGENCY LIGHT FIXTURE CENTERED OVER DOOR. SEE PHOTOMETRIC PLAN FOR FIXTURE TYPE. PAINT DOOR TO MATCH ADJACENT WALL COLOR.
- 10 ADDRESS SIGNAGE UNDER SEPARATE PERMIT AND SHALL MEET BUILDING, FIRE AND SHERIFF DEPT REQUIREMENTS.
- 11 CANOPY LIGHTING, SEE PHOTOMETRIC DRAWINGS.
- 12 DASHED LINE INDICATES INTERNAL CLEAR HEIGHT. SEE ELEVATIONS FOR HEIGHT.

FINISH LEGEND:

- | | |
|--|--|
| P1: PAINT 1
SHERWIN WILLIAMS
SW7757 HIGH REFLECTIVE
WHITE | P2: PAINT 2
SHERWIN WILLIAMS
SW7006 EXTRA WHITE |
| P3: PAINT 3
SHERWIN WILLIAMS
SW7646 FIRST STAR | P4: PAINT 4
SHERWIN WILLIAMS
SW7016 MINDFUL GRAY |
| P5: PAINT 5
SHERWIN WILLIAMS
SW7670 GRAY SHINGLE | P6: PAINT 6
SHERWIN WILLIAMS
SW6208 PEWTER GREEN |
| GL1: VITRO ARCHITECTURAL
GLASS "ATLANTICA"
EMERALD GREEN GLASS
IN THERMALLY BROKEN
CLEAR ANODIZED
ALUMINUM FRAMES | |

EXTERIOR ELEVATIONS
SCALE: 1" = 20'-0"



PARTIAL ENLARGED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

sheet no.:

A03.1



PROJECT INFORMATION

PROJECT ADDRESS: 1408 THUNDERBOLT WAY
SANTA ROSA, CA 95407

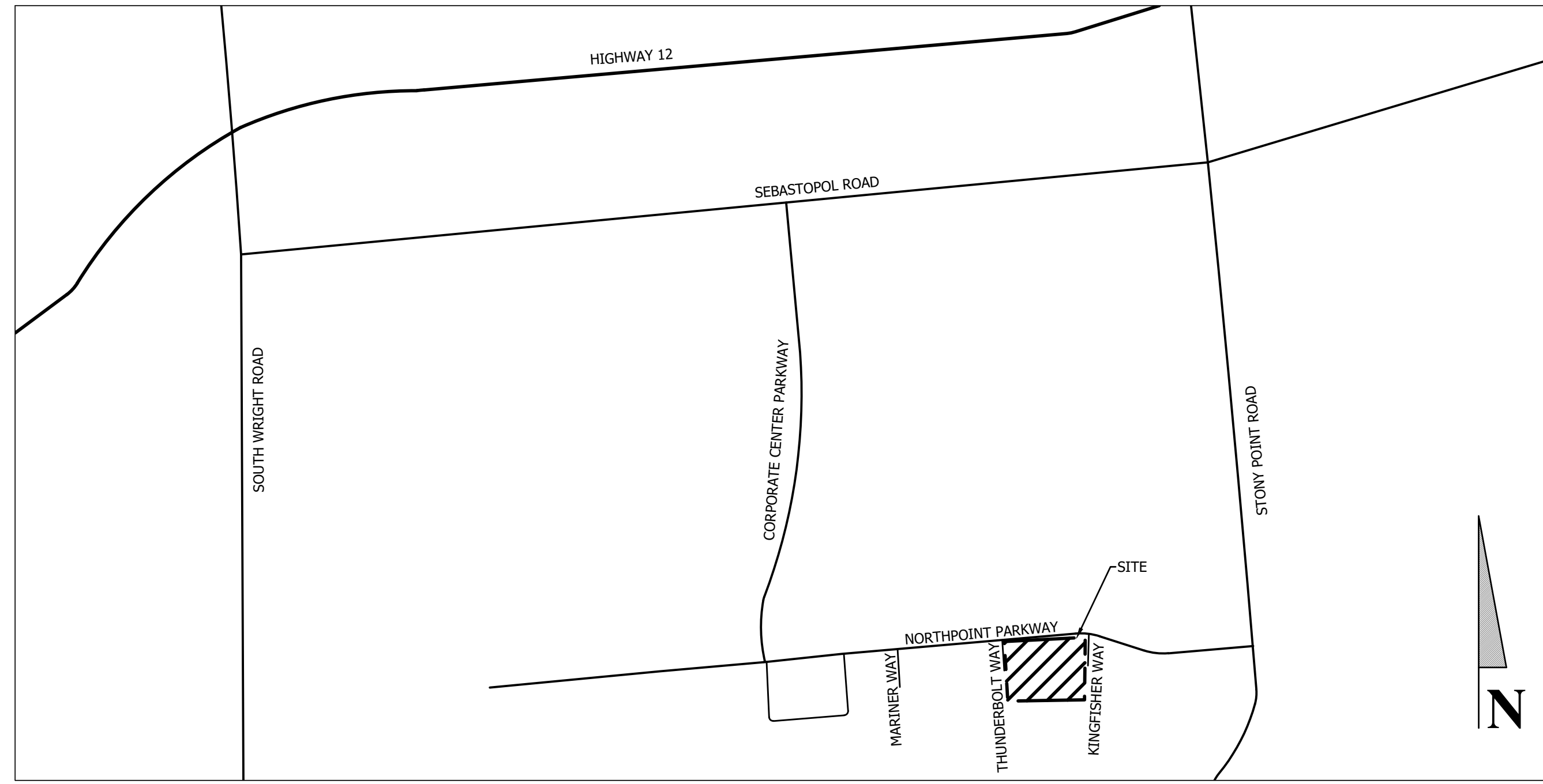
OWNER/DEVELOPER: MCNEILL REAL ESTATE SERVICES, INC.
C/O: JOSE MCNEILL
5254 TAPESTRY COURT,
FAIRFIELD, CA 94534
(916) 719-5659

CIVIL ENGINEER: THOMAS J. BILLETER, P.E.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

SURVEYOR: CINQUINI & PASSARINO, INC
1360 NORTH DUTTON AVENUE #150
SANTA ROSA, CA 95401
(707) 542-2106

AREA: 6.80 ACRES

**DESIGN REVIEW DRAWINGS FOR
NORTHPOINT COMMERCE CENTER**
C/O JOSE MCNEILL - (916) 718-5659
THUNDERBOLT WAY, SANTA ROSA, CA 95407
APN: 035-530-023, -024, -025, -057



VICINITY MAP
NTS

SHEET INDEX

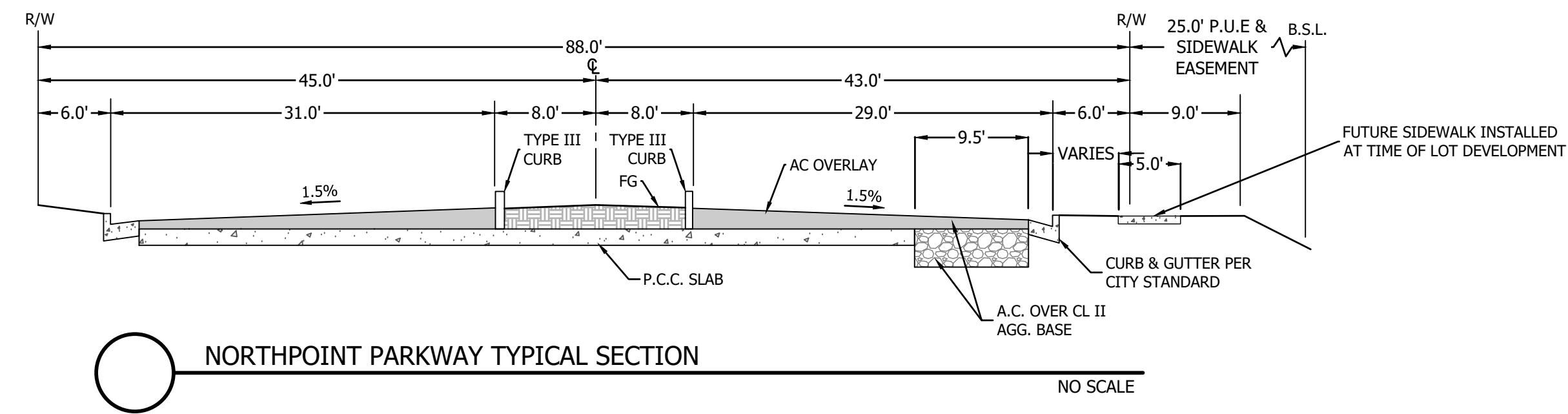
- C1.0 PROJECT INFO
- C1.1 GRADING AND DRAINAGE PLAN
- C1.2 SITE CROSS SECTIONS
- C1.3 UTILITY PLAN

ABBREVIATIONS

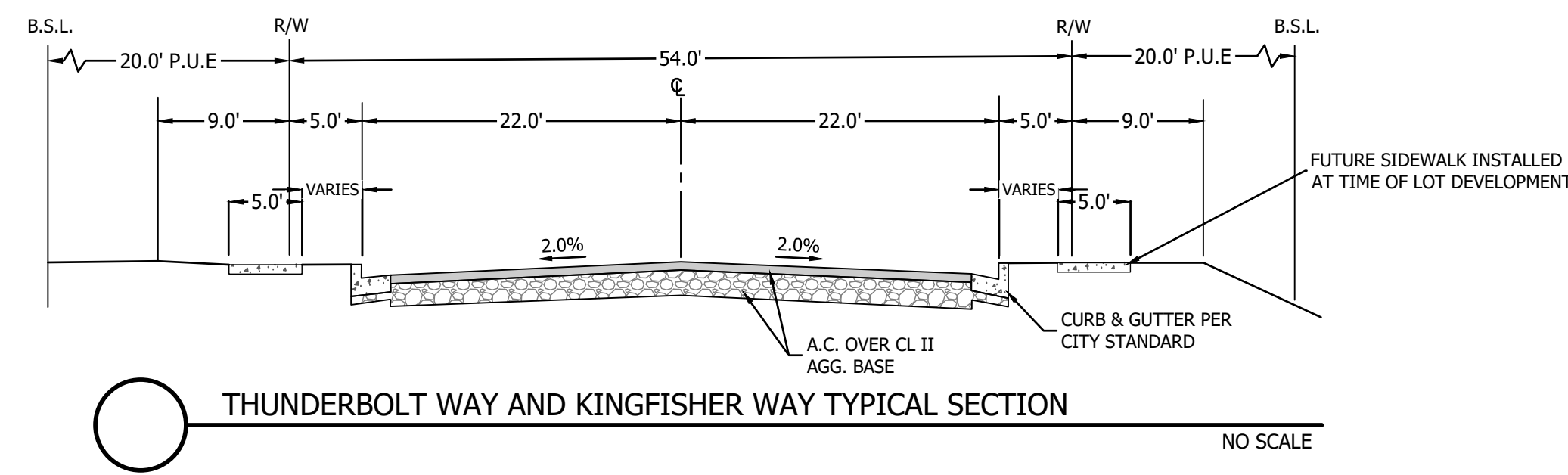
AB	AGGREGATE BASE	GSL	GARAGE SETBACK LINE
AC	ASPHALT CONCRETE	GR	GRATE ELEVATION
APN	ASSESSOR'S PARCEL NUMBER	HP	HIGH POINT
BC	BEGIN HORIZONTAL CURVE	INV	INVERT
BSL	BUILDING SETBACK LINE	IG	INVERT GRADE
BW	BOTTOM OF WALL AT GRADE	LF	LINEAR FEET
BLDG	FINISH GRADE BUILDING	MAX	MAXIMUM
BT	BEGINNING OF TANGENT	ME	MATCH EXISTING
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	MIN	MINIMUM
BVCS	BEGINNING OF VERTICAL CURVE STATION	NTS	NOT TO SCALE
CL	CENTERLINE	PC	POINT OF CURVE
CL	CLASS	PCC	POINT OF COMPOUND CURVE
CPP	CORRUGATED PLASTIC PIPE	PL	PROPERTY LINE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVE
CY	CUBIC YARD	PT	POINT OF TANGENT
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
DL	DAYLIGHT	RC	RELATIVE COMPACTION
EC	END HORIZONTAL CURVE	R/W	RIGHT-OF-WAY
EG	EXISTING GROUND	S	SLOPE
EP	EDGE OF PAVEMENT	SAD	SEE ARCHITECTURAL DRAWINGS
ET	END OF TANGENT	SC	SPIRAL CURVE
EVCE	END OF VERTICAL CURVE ELEVATION	SD	STORM DRAIN PIPE
EVCS	END OF VERTICAL CURVE STATION	SDE	STORM DRAIN EASEMENT
EX	EXISTING	SE	SEWER EASEMENT
FF	FINISHED FLOOR	SG	SUBGRADE
FG	FINISHED GRADE	SWE	SIDEWALK EASEMENT
FL	FLOW LINE	STA	STATION
FS	FINISH SURFACE	TW	TOP OF WALL
FSS	FIRE SAFETY STANDARDS	TYP	TYPICAL
GB	GRADE BREAK	VC	VERTICAL CURVE

LEGEND

EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD WIRE)
---	---	GAS LINE
---	---	GATE VALVE
---	---	HYDRANT
---	---	PIPE CAP
---	---	POINT OF COORDINATION
---	---	SANITARY SEWER PIPE
---	---	STORM WATER DRAIN PIPE
---	---	STREET LIGHT
---	---	WATER LINE
---	---	DRAINAGE SWALE FLOW LINE
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	FLOWLINE DIRECTION ARROW
---	---	GRADE BREAK
---	---	TREE TO BE REMOVED
---	---	CONCRETE
---	---	ROCK DISSIPATER/RIP RAP
---	---	BIORETENTION AREA



NORTHPOINT PARKWAY TYPICAL SECTION
NO SCALE



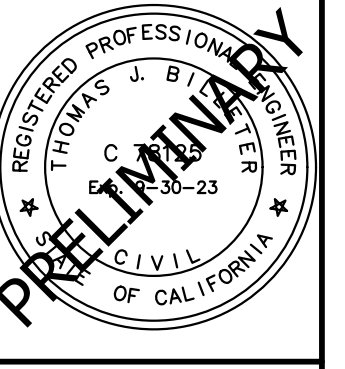
THUNDERBOLT WAY AND KINGFISHER WAY TYPICAL SECTION
NO SCALE

REV.	DESCRIPTION	DATE

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
www.bceengineeringgroup.com
Phone: 707-542-4321
SANTA ROSA OFFICE:
418 B Street, Third Floor, Santa Rosa CA 95401
UKIAH OFFICE:
603 S. State Street, Ukiah CA 95482



DESIGN REVIEW
PROJECT INFO
NORTHPOINT COMMERCE CENTER
1408 THUNDERBOLT WAY
SANTA ROSA, CA 95407



Date: 09/07/2023
Job: 1979-20
Drawn: JF/MD
Scale: AS SHOWN
APN: 035-530-023
Permit #:

Sheet: **C1.0**
1 of 4

NOT FOR CONSTRUCTION

9/6/2023 12:05 PM Printed by Trevor S:\Clients\1979-20\Charlie Traboulsi - Thunderbolt Way (Northpoint Commerce Center), Santa Rosa, CA\CAD\Civil Engineering\Design Review\1979-20 Project Info.dwg

KEYNOTES:

- ① BIORETENTION AREA, SEE DETAIL THIS SHEET
- ② PROPOSED 6" (ASSUMED) SEWER SERVICE TO TIE INTO EXISTING LATERAL STUB
- ③ TRASH ENCLOSURE
- ④ 20' SWE AND PUE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36
- ⑤ 25' BSL, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36
- ⑥ 20' SDE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36. EXISTING CONCRETE BOX CULVERT WITHIN EASEMENT TO REMAIN. ALL OTHER EXISTING SD INFRASTRUCTURE ON SITE TO BE REMOVED
- ⑦ DRIVEWAY APRON PER CITY STD. 250A
- ⑧ PROPOSED WALL DRAINS TO BIORETENTION, TYP

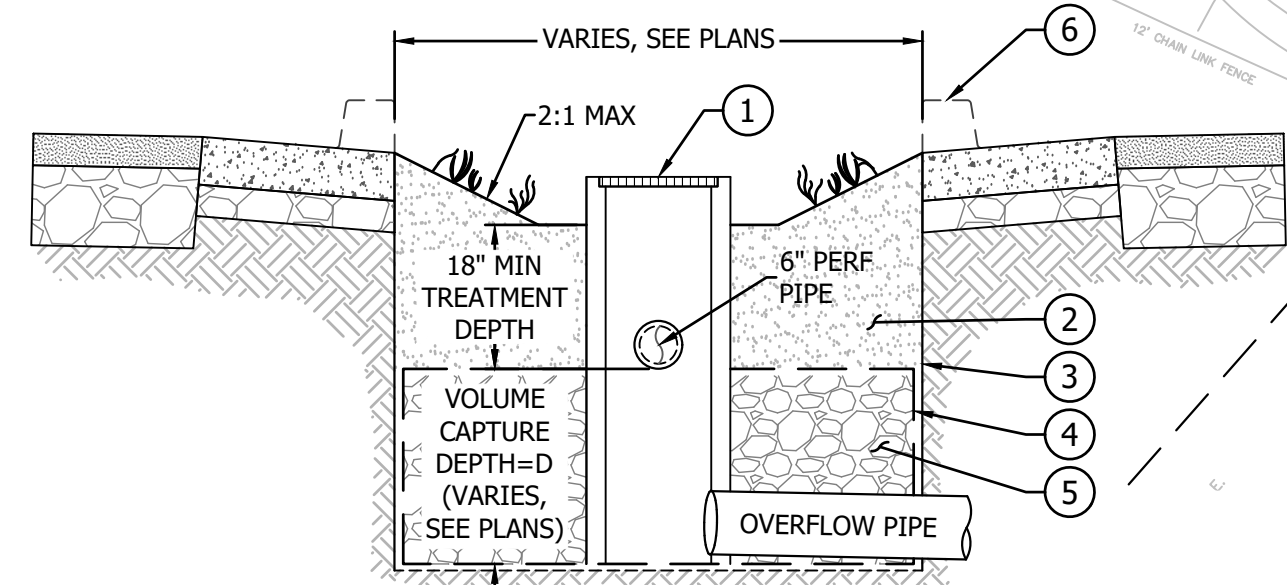
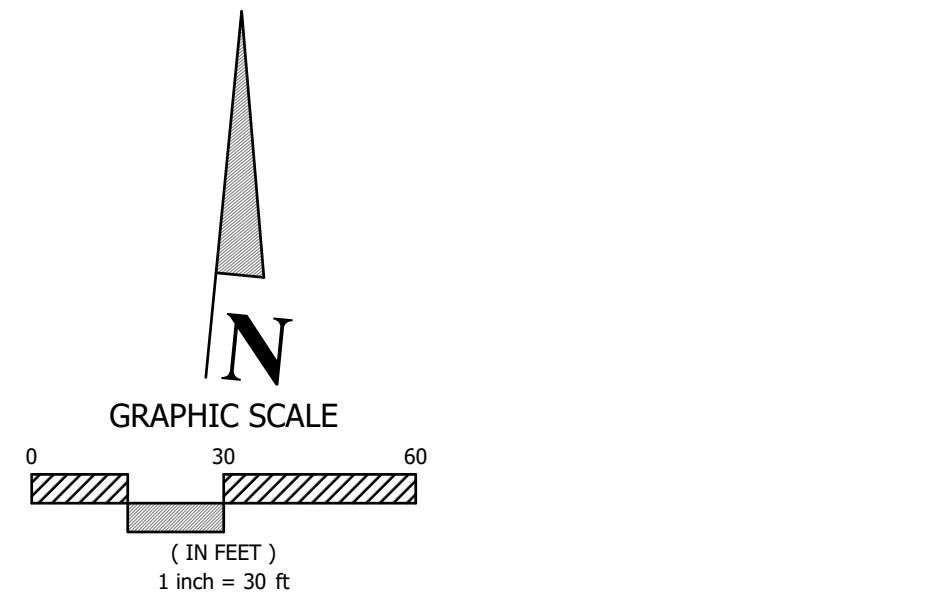
AREA SUMMARY

DMA (FT)	TRIB AREA (SF)	BMP AREA (SF)	DEPTH
1	58,523	3,720	3
2	26,056	1,500	3
3	37,595	2,225	3
4	113,316	6,300	3
5	51,290	3,630	3
6	1,809	150	2
7	1,152	100	2
8	8,642	720	2
9	1,707	145	2
10	1,563	130	2
11	1,200	100	2

RUNOFF CURVE NUMBER FOR ALL TRIBUTARY AREAS IS 98.

PRE-DEVELOPMENT IMPERVIOUS SURFACE: 104,458 SQ. FT.

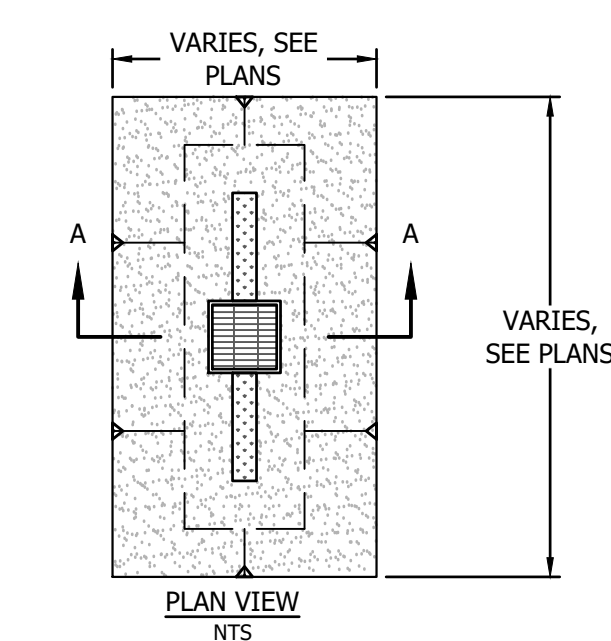
POST-DEVELOPMENT IMPERVIOUS SURFACE: 241,306 SQ. FT.



SECTION A-A
NTS

KEY NOTES:

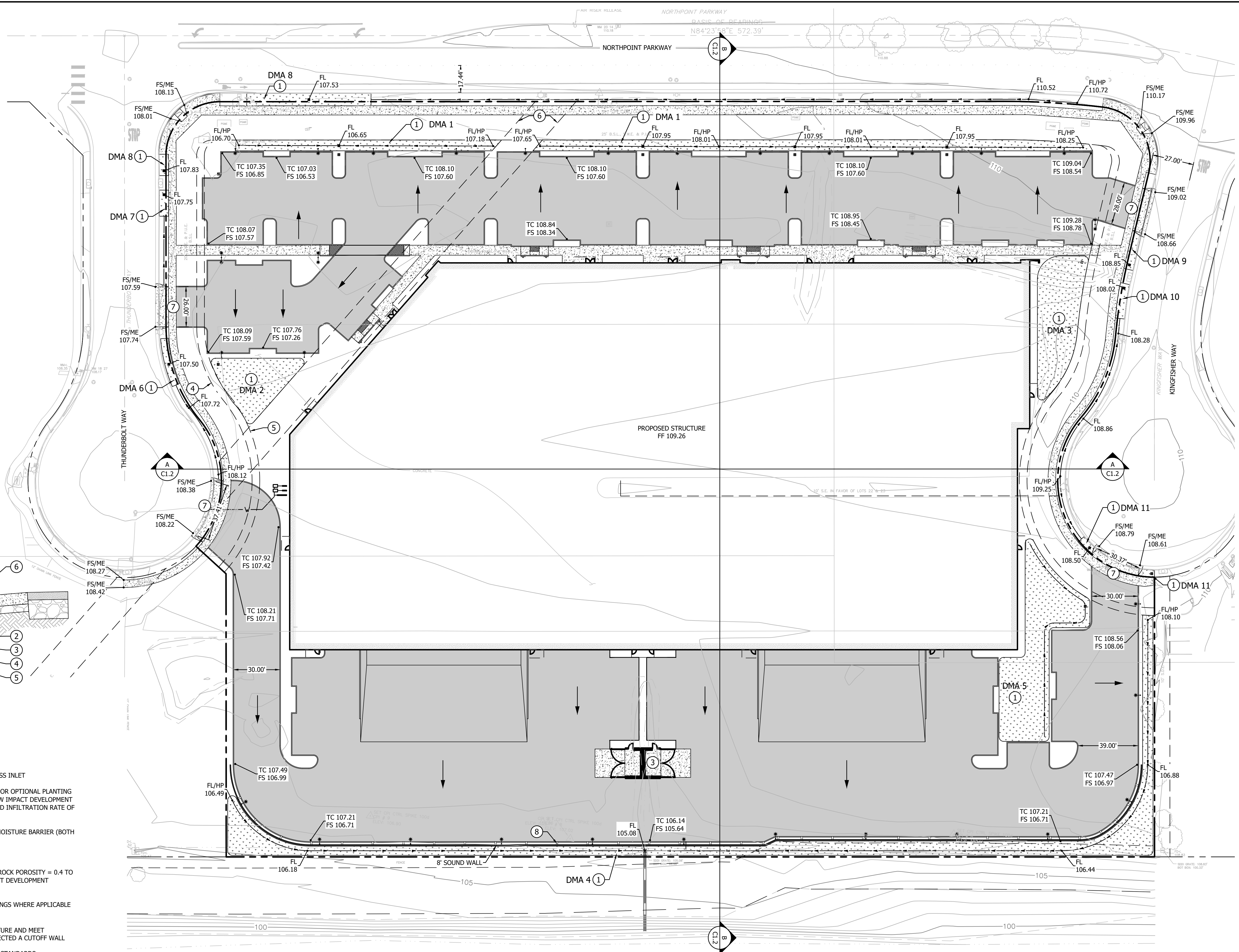
- ① HIGH FLOW BYPASS INLET
- ② AMENDED SOIL OR OPTIONAL PLANTING SOIL MIX PER LOW IMPACT DEVELOPMENT REGULATIONS AND INFILTRATION RATE OF 18 IN/HR
- ③ 10-MIL PLASTIC MOISTURE BARRIER (BOTH SIDES)
- ④ FILTER FABRIC
- ⑤ 3/4-INCH DRAIN ROCK POROSITY = 0.4 TO MEET LOW IMPACT DEVELOPMENT REGULATIONS
- ⑥ ADD CURB OPENINGS WHERE APPLICABLE



- NOTES:**
1. SOIL TO BE SPECIFIED BY DESIGN ENGINEER TO PROVIDE VOLUME CAPTURE AND MEET GOVERNING AGENCY REQUIREMENTS. IF NON STRUCTURAL SOIL IS SELECTED A CUTOFF WALL IS REQUIRED IN PLACE OF MOISTURE BARRIER.
 2. SWALE MUST CONVEY DESIGN FLOWS PER GOVERNING AGENCY DESIGN STANDARDS.
 3. TOP OF 6" PERFORATED PIPE TO BE SET 6" BELOW BOTTOM OF ROAD STRUCTURAL SECTION.

BR BIORETENTION DETAIL

NO SCALE



REV.	DESCRIPTION	DATE

BC ENGINEERING & LAND PLANNING
CIVIL ENGINEERING & LAND PLANNING
 www.bceengineering.com
 Phone: 707.542.4321
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401
 Ukiah OFFICE: 603 S. State Street, Ukiah CA 95482

DESIGN REVIEW
GRADING AND DRAINAGE PLAN
 NORTHPOINT COMMERCE CENTER
 1408 THUNDERBOLT WAY
 SANTA ROSA, CA 95407

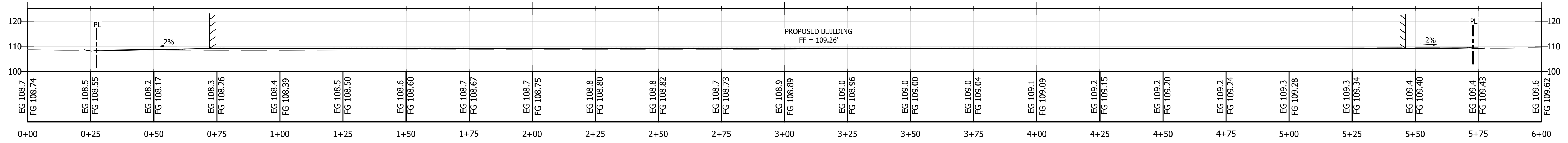
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 Job: 1979-20
 Drawn: JF/MD
 Scale: AS SHOWN
 APN: 035-530-023
 Permit #:
 Sheet: **C1.1**
 2 of 4

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S:\Clients\1979-20\Charlie Traboulsi - Thunderbolt Way (Northpoint Commerce Center) - Santa Rosa, CA\CAD\Civil Engineering\Design Review\1979-20 Grading and Drainage Plan.dwg

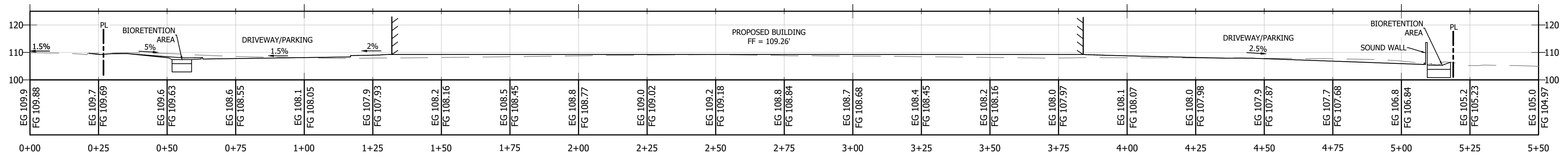
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SITE SECTION A-A
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'

SITE SECTION LEGEND

- FINISH GRADE
- EXISTING GRADE
- PROPERTY LINE



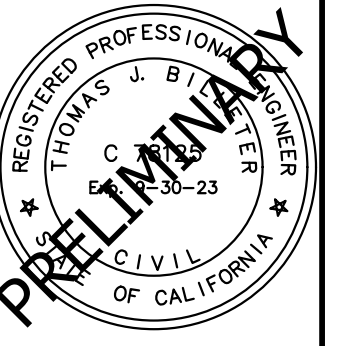
SITE SECTION B-B
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
 www.bceengineeringgroup.com
 Phone: 707.542.4321
 SANTA ROSA OFFICE:
 418 B Street, Third Floor, Santa Rosa, CA 95401
 UKIAH OFFICE:
 603 S. State Street, Ukiah, CA 95482



DESIGN REVIEW
CROSS SECTION VIEWS
 NORTHPOINT COMMERCE CENTER
 1408 THUNDERBOLT WAY
 SANTA ROSA, CA 95407

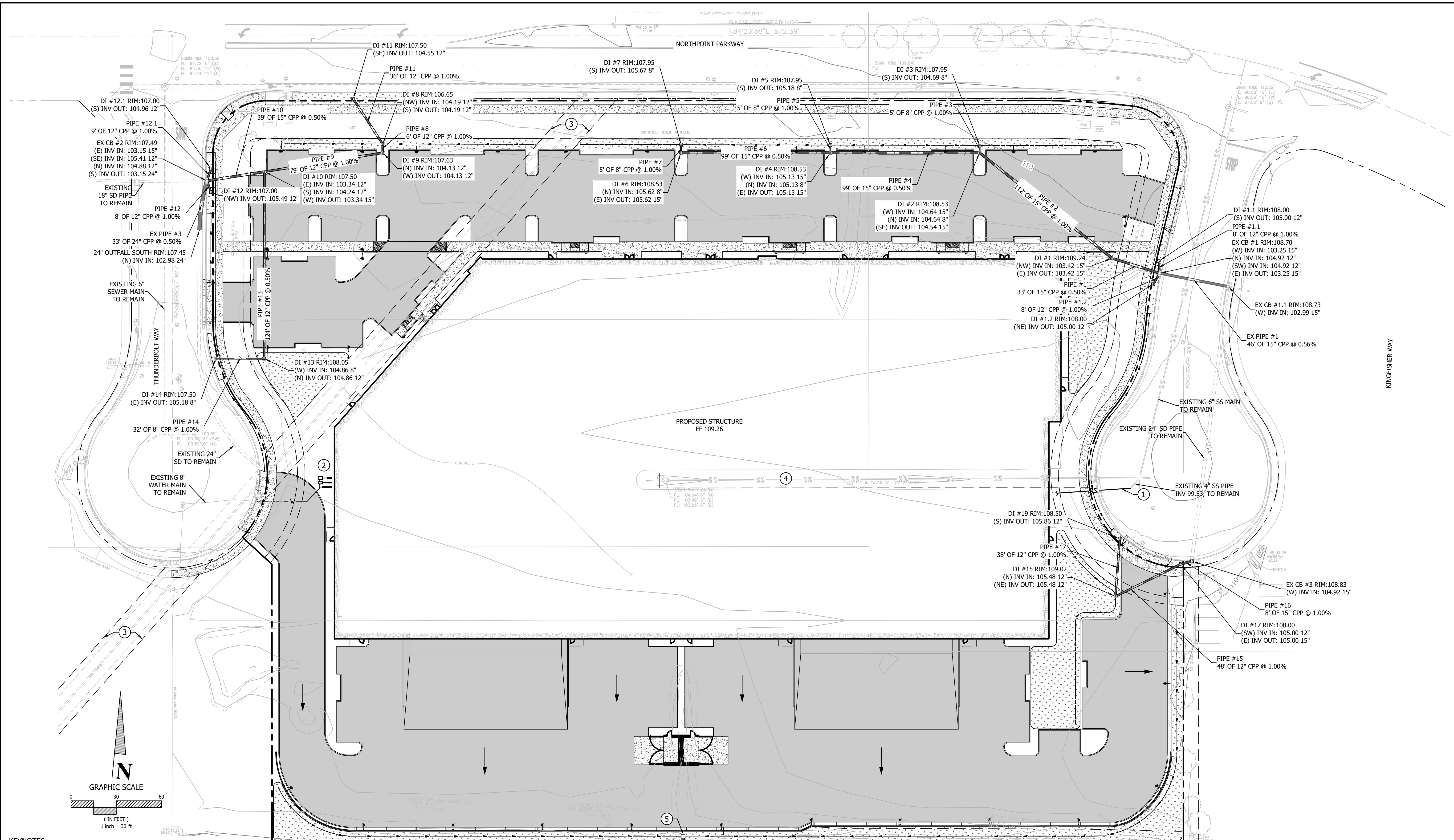


Date: 09/07/2023
 Job: 1979-20
 Drawn: JF/MD
 Scale: AS SHOWN
 APN: 035-530-023
 Permit #:
 Sheet:

C1.2
 3 of 4

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9/6/2023 12:06 PM
Printed by Trevor



- KEYNOTES:**
- 1 PROPOSED 6" (ASSUMED) SEWER SERVICE TO TIE INTO EXISTING LATERAL STUB
 - 2 PROPOSED MULTISERVICE MANHOLE WITH ASSUMED 6" DOUBLE DETECTOR CHECK, ASSUMED 2" DOMESTIC METER, ASSUMED 2" IRRIGATION METER, AND BACKFLOW PREVENTION DEVICES.
 - 3 20' SDE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36. EXISTING CONCRETE BOX CULVERT WITHIN EASEMENT TO REMAIN. ALL OTHER EXISTING SD INFRASTRUCTURE ON SITE TO BE REMOVED
 - 4 10' SE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36. EXISTING 6" SANITARY SEWER PIPE TO BE ABANDONED AND ASSOCIATED EASEMENT TO BE QUITCLAIMED
 - 5 EXISTING DROP INLET TO BE REPLACED. PROPOSED DROP INLET TO BE SAME SIZE AND SHALL CONNECT TO EXISTING 24" SD PIPE IN KIND.

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
 www.bceengineeringgroup.com
 Phone: 707.542.4321
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401
 UKIAH OFFICE: 603 S. State Street, Ukiah CA 95482

DESIGN REVIEW
UTILITY PLAN
 NORTHPOINT COMMERCE CENTER
 1408 THUNDERBOLT WAY
 SANTA ROSA, CA 95407

Date: 09/07/2023
 Job: 1979-20
 Drawn: JF/MD
 Scale: AS SHOWN
 APN: 035-530-023
 Permit #:
 Sheet: **C1.3**
 4 of 4

NOT FOR CONSTRUCTION

LANDSCAPE DESIGN INTENT:

• Landscape design intent: The designed landscape will create continuity with the adjacent landscapes in the development and provide year-round interest in foliage color and form to soften and enhance the look of the new architecture. Signature street trees are selected from the City of Santa Rosa's approved street tree list for narrow spaces and are planted along Northpoint Parkway and Mariner Way on a grid, representing an orchard format. Plant materials selected consist of almost exclusively low water-use and low maintenance species, many native to the area. Understory and ground cover plantings are generally low profile in stature so as not to interfere with visual access into and within the site. Organic layout of shrubs and ground covers provide a natural-looking landscape. Plant selection emphasizes foliage form and color for year-long attractiveness and structure, with adequate spacing to discourage hard pruning. Dense ground covers provide weed and erosion control and ground covers selected from among fire-resistant species will be planted along the Parkway to provide a fire buffer to the site. No turf grass areas are proposed.

• Tree quantities and placement: New tree counts exceed the quantity required by the City's tree/parking ratio. Parking areas contain (36) trees at a 1:4.5 ratio with the (163) proposed parking spaces. There are an additional (24) trees for the remaining 24,500 square feet of landscaped area, or (1) tree for every 600 square feet of landscaped area. Street trees are provided at 1 per 20-feet of commercial frontage per the City Design Guidelines (Streetscapes). Street trees are held back 30-feet from the corner curb return.

• Sound mitigation for neighboring properties: A new 8' tall, poured-in-place, integrally colored concrete site wall will be located along the south project border, to provide visual and sound mitigation for residences to the south. The south face of the wall will be planted with a vigorous, climbing vine to soften and green its view.

• Planting scheme at property lines and entries: Enhanced entry planting will direct users to entry points via bold year-round color and textural contrast. To supplement the screening provided by trees on adjacent parcels, new tree species along the west property line have been added. Trees are located so that at maturity they do not interfere with safe sight distances for vehicular, bicycle, or pedestrian traffic nor will they conflict with overhead utility lines, overhead lights, or walkway lights.

• Root barriers: Appropriate root barriers shall be provided in any planters and parking islands less than 10' in width.

• Existing trees: There are no existing trees on site that will require removal.

IRRIGATION STATEMENT:

• All landscaped areas will be provided with an approved, fully automated irrigation system to include an automatic master control with multi-calendar, timer, and multi-station capabilities, in compliance with Section 20-34.060 and with the City's Water Efficient Landscape Ordinance.

• Irrigation system will be designed to avoid runoff, low head drainage, overspray or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures. Proper irrigation equipment and schedules, including repeat cycles, shall be used to closely match application rates to infiltration rates to minimize runoff. Plants with similar water requirements shall be grouped together in distinct hydrozones.

• A master valve and flow sensor will be provided near the irrigation point of connection and connected to the automatic irrigation controller to sense and shutdown the system in case of a catastrophic event. All ground cover, shrub, and perennial planting areas will receive a high-efficiency inline drip system. The automatic irrigation controller will utilize either evapotranspiration or soil moisture sensor data with non-volatile memory. Sensors (rain, freeze, wind, etc.), either integral or auxiliary, that suspend or alter irrigation operation during unfavorable weather conditions will be provided for all zones.

PROPOSED TREE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	HEIGHT X WIDTH AT MATURITY	QTY **	DESCRIPTION
	Arbutus 'Marina'	Strawberry Tree	Low	24" Box	20' x 20'	17	Evergreen accent tree
	Cercis occidentalis	Western Redbud	Low	15 Gal	15' x 15'	11	Deciduous accent tree
	Ginkgo biloba 'Sarotoga'	Maidenhair Tree	Moderate	15 Gal	30' x 50'	7	Deciduous accent tree
	Magnolia 'Little Gem'	Dwarf Magnolia	Moderate	15 Gal	18' x 8'	5	Evergreen accent tree
	Pistacia c. 'Keith Davy'	Chinese Pistache	Low	36" Box	25' x 25'	17	Deciduous shade tree
	Quercus agrifolia	Coast Live Oak	Low	15 Gal	20-75' x 30-60'	6	Native Oak/storm retention area

** Refer to Landscape Design Intent Statement above for more information on tree quantities required.

PROPOSED PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	ON CENTER SPACING	DESCRIPTION
Shrubs						
	Arctostaphylos 'Sunset'	Sunset Manzanita	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	Berberis atropurpurea	Japanese Barberry	Low	5 Gal	4'-0" o.c.	Deciduous foundation shrub
	Caeanthus 'Siyak'	Wild Lilac	Low	5 Gal	6'-0" o.c.	Evergreen foundation shrub
	Heteromeles arbutifolia	Toyon	Low	5 Gal	8'-0" o.c.	Evergreen foundation shrub
	Cistus salviifolius	White Rockrose	Low	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	Grevillea noelii	Grevillea	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	Pennisetum orientale	Fountain Grass	Low	1 Gal	3'-0" o.c.	Ornamental Grass
	Rosa 'Flower Carpet Red Rose'	Rosa x 'Noare'	Moderate	5 Gal	3'-0" o.c.	Semi-deciduous accent shrub
	Salvia greggii 'Purple'	Purple Sage	Low	5 Gal	3'-0" o.c.	Evergreen foundation shrub
	Xylosma c. compacta	Compact Xylosma	Low	5 Gal	5'-0" o.c.	Evergreen hedge shrub
Ground Cover						
	Ceanothus g.h. 'Yankee Point'	California Lilac	Low	5 Gal	6'-0" o.c.	Evergreen ground cover
	Coprosma p. 'Verde Vista'	Coprosma	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Cotoneaster lowfast	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
Storm Retention Planting						
	Carex divulsa	Berkeley Sedge	Low	1 Gal	2'-0" o.c.	Water-tolerant ornamental grass
	Chondropetalum tectorum	Small Cape Rush	Low	1 Gal	4'-0" o.c.	Water-tolerant ornamental grass
Corner/Entry Treatment						
	Coleonema p. 'Sunset Gold'	Bright Star Yucca	Moderate	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	Cotoneaster lowfast	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	Loropetalum chinense	Chinese Fringe Flower	Moderate	5 Gal	5'-0" o.c.	Evergreen foundation shrub
Vines						
	Parthenocissus tricuspidata	Boston Ivy	Low	1 Gal	4'-0" o.c.	Deciduous Climbing Vine



PROPOSED TREE IMAGERY

Pistachia chinensis - Chinese Pistache



Quercus agrifolia - Coast Live Oak



Arbutus 'Marina' - Strawberry Tree



Cercis occidentalis - Western Redbud



Magnolia 'Little Gem' - Dwarf Magnolia



Ginkgo biloba 'Sarotoga' - Maidenhair Tree



DESIREE GARON

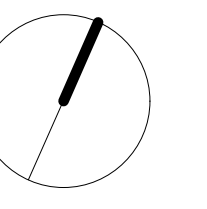
LANDSCAPE ARCHITECT

308 HATCHERY LANE
SONOMA, CA 95476
PH (707) 694-6139

CALIFORNIA PLA #5216
EXP 11/30/21

NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY
AT THUNDERBOLT WAY
SANTA ROSA, CA
95407



REVISIONS

9/13/23

DATE: 2/26/22

SCALE: 1" = 30'-0"

DRAWN: DJG

LANDSCAPE SITE PLAN

L1.0

CLIENT:

McNeill Real Estate Services
Joseph A McNeill, III

916 718 5659
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

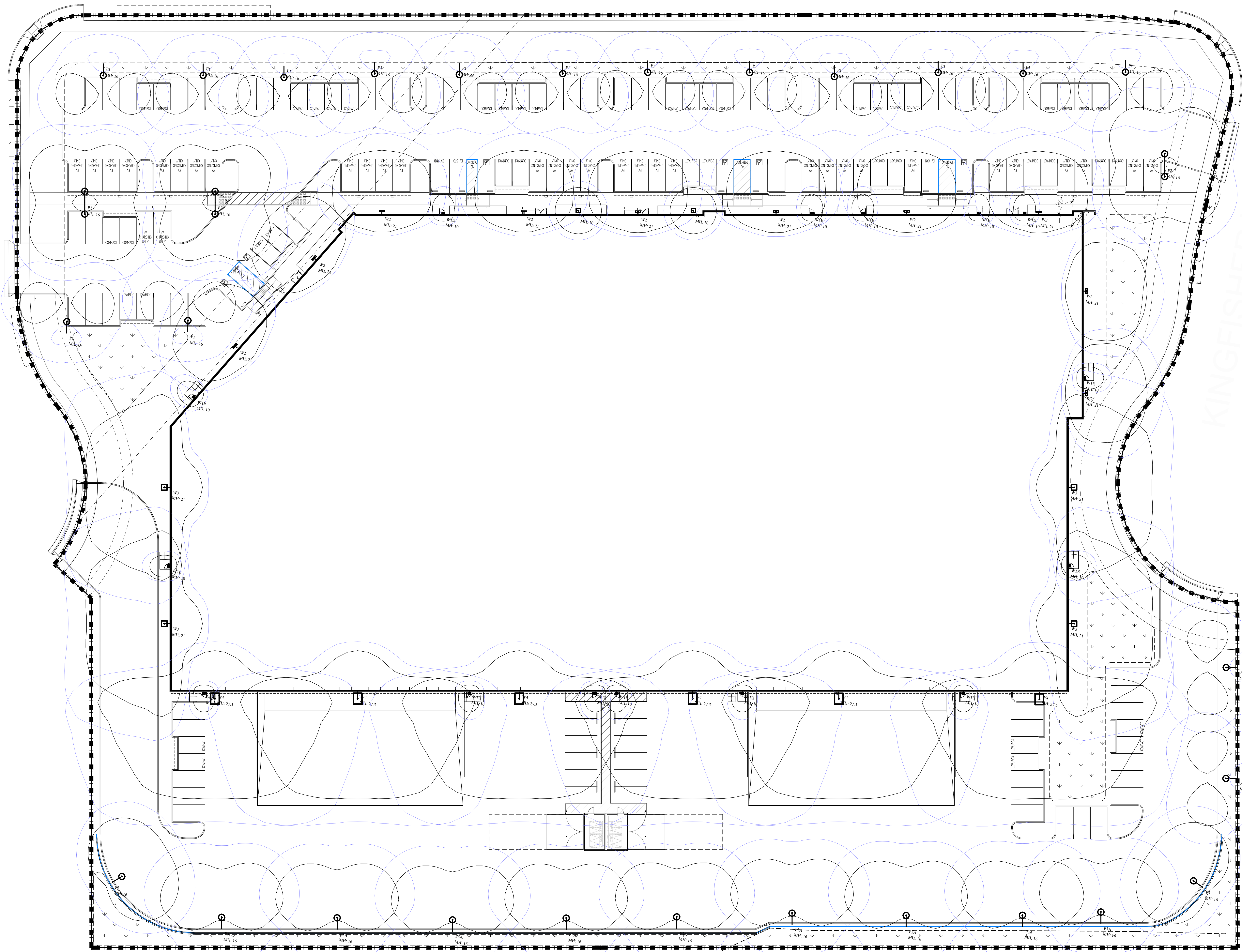
NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

issue :	description :	date :
A	ISSUED FOR REVIEW	09-11-2023



PRELIMINARY LIGHTING SITE PLAN
SCALE: 1" = 20'-0"

LIGHTING NOTES:
POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)
POLE LIGHTS TYPE P3A ALONG SOUTH PROPERTY LINE TO BE EQUIPPED WITH HSS
BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"
BUILDING LIGHTS MOUNTING HEIGHT IS 21'-0"
BUILDING ABOVE DOORS EMERGENCY LIGHTS TYPE W1E MOUNTING HEIGHT IS 10 FT
ALL LIGHTS ARE FULL CUT-OFF

drawn by : TLG plot date : 09-11-2021

checked by : AG/IDL

stamp



scale : AS NOTED

project number : 2204025.00

PRELIMINARY LIGHTING SITE PLAN

sheet no. :

CLIENT:

McNeill Real Estate Services
Joseph A McNeill, III

916 718 5659
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

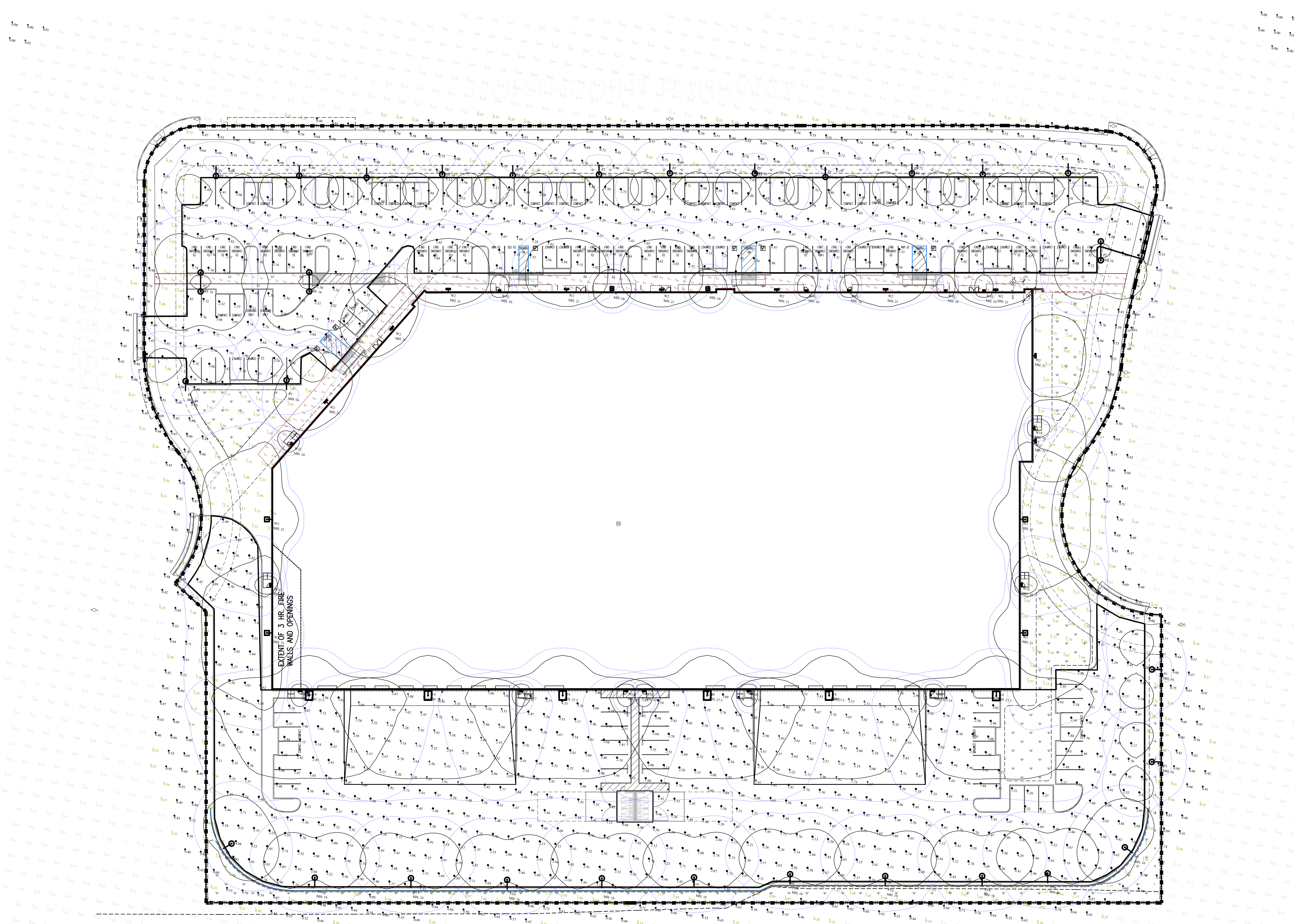
NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY
SANTA ROSA, CALIFORNIA

approved for the owner by :

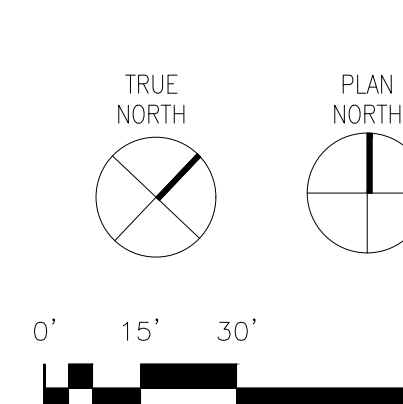
approved for the architect by :

issue :	description :	date :
A	ISSUED FOR REVIEW	09-11-2023



Symbol	Qty	Label	Arrangement	Description	LLF	[MANUFAC]	Luminaire Lumens	Luminaire Watts	Total Watts	BUG Rating
□	2	D	Single	SCP-S-20-LG-VS-4K	0.900	BARRON LIGHTING GROUP	2352	20.49	40.98	N.A.
□	16	P1	SINGLE	TT-D3-740-U-T4-PM	0.900	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	5348	48.8	780.8	B2-U0-G3
□	3	P2	Back-Back	TT-D3-740-U-T4-PM	0.900	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	5348	48.8	292.8	B2-U0-G3
□	2	P3	Single	TT-D5-740-U-T4-PM	0.900	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	7938	62.3	124.6	B2-U0-G3
□	9	P3A	Single	TT-D5-740-U-T4-PM-HSS. NOTE! Confirm with factory D5 and HSS is available. 1.25 LLF for 7938 lumens	1.250	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	5567	62.5	562.5	B1-U1-G3
□	15	W1E	SINGLE	131-0233_us MOUNTING HEIGHT 10 FT	0.900	WE-EF USA	517	16	240	N.A.
□	10	W2	SINGLE	070449 MOUNTING HEIGHT 21 FT - 6 INCHES	0.900	Performance iN Lighting	7985	80	800	B2-U0-G1
□	4	W3	SINGLE	PRV-PA2A-740-U-T4W	0.900	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	15560	112	448	B3-U0-G3
□	6	W4	Single	PRV-XL-PA3A-740-U-T4W	0.900	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	24325	172	1032	B3-U0-G4

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
East Dock	Illuminance	Fc	2.6	4.00	1.67	1.6	2.4
North Parking	Illuminance	Fc	1.8	5.42	1.04	1.8	5.2
Pedestrian Path	Illuminance	Fc	3.3	8.65	1.06	3.2	8.2
South Parking	Illuminance	Fc	2.2	5.63	0.90	2.5	6.3
Spill Light	Illuminance	Fc	0.4	7.77	0.00	N.A.	N.A.
West Dock	Illuminance	Fc	2.9	4.33	1.87	1.6	2.3



PRELIMINARY PHOTOMETRIC OVERALL LIGHTING SITE PLAN

SCALE: 1" = 30'-0"

1

LIGHTING NOTES:
POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)
POLE LIGHTS TYPE P3A ALONG SOUTH PROPERTY LINE TO BE EQUIPPED WITH HSS
BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"
BUILDING LIGHTS MOUNTING HEIGHT IS 21'-0"
BUILDING ABOVE DOORS EMERGENCY LIGHTS TYPE W1E MOUNTING HEIGHT IS 10 FT
ALL LIGHTS ARE FULL CUT-OFF

drawn by : TLG plot date : 09-11-2021

checked by : AG/UDL

stamp



scale : AS NOTED

project number : 2204025.00


PRELIMINARY PHOTOMETRIC LIGHTING PLAN

sheet no. :

PH01.1

TYPE P1, P2 & P3

Project	Catalog #	Type
Prepared By	Notes	Date



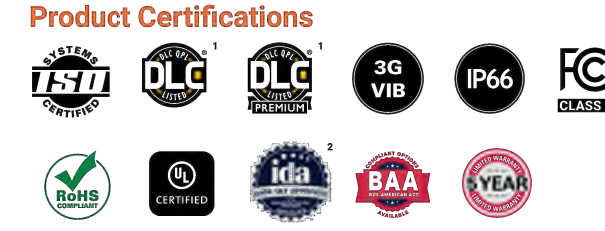
McGraw-Edison TT TopTier

Area / Site Luminaire

Product Features

- Interactive Menu
 - Ordering Information page 2
 - Product Specifications page 2
 - Mounting Details page 3
 - Optical Configurations page 3
 - Energy and Performance Data page 4
 - Control Options page 4

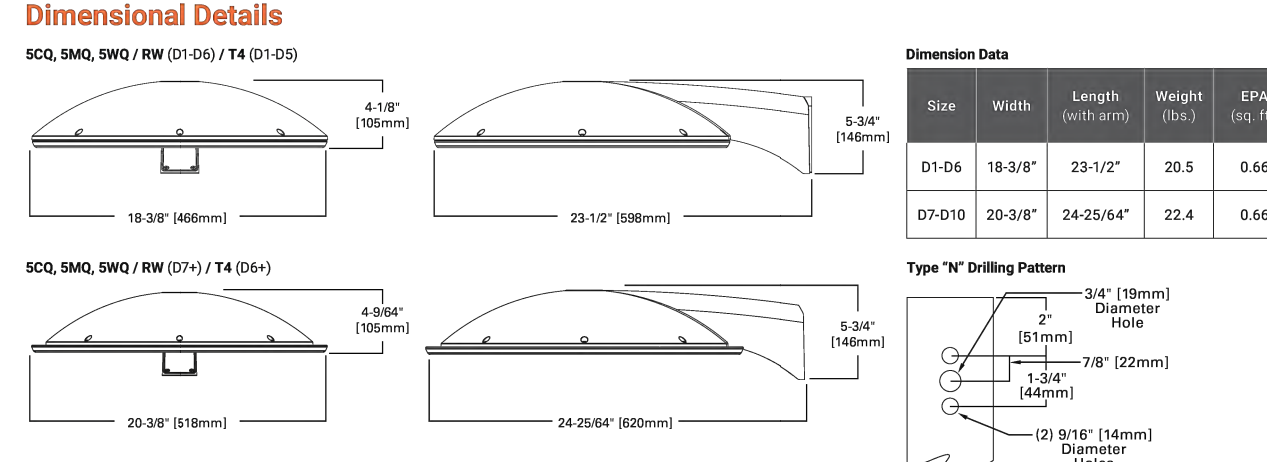
Product Certifications



Quick Facts

- Lumen packages range from 2,757 - 22,831
- Efficacies up to 146 lumens per watt
- Utilizes patented waveguide technology for maximum visual comfort

Dimensional Details



McGraw-Edison TYPE P1, P2 & P3 TT TopTier

Input Current

Power (Wattage)	01	02	03	04	05	06	07	08	09	10	11	12
Input Current @ 120V (A)	0.23	0.30	0.39	0.48	0.62	0.86	1.09	1.31	1.50	1.72		
Input Current @ 208V (A)	0.13	0.16	0.21	0.26	0.36	0.51	0.67	0.87	0.99	0.88		
Input Current @ 277V (A)	0.10	0.14	0.17	0.21	0.27	0.36	0.46	0.58	0.67	0.74		
Input Current @ 347V (A)	0.08	0.11	0.14	0.17	0.22	0.30	0.40	0.47	0.55	0.67		
Input Current @ 480V (A)	0.06	0.08	0.10	0.12	0.16	0.22	0.30	0.36	0.43	0.47		

RW Distribution Only

Power (Wattage)	01	02	03	04	05	06	07	08	09	10	11	12
Input Current @ 120V (A)	0.23	0.30	0.39	0.48	0.62	0.86	1.11	1.34	1.58			
Input Current @ 208V (A)	0.13	0.16	0.21	0.26	0.36	0.51	0.58	0.69	0.81			
Input Current @ 277V (A)	0.10	0.14	0.17	0.21	0.27	0.36	0.46	0.59	0.68			
Input Current @ 347V (A)	0.08	0.11	0.14	0.17	0.22	0.30	0.41	0.48	0.57			
Input Current @ 480V (A)	0.06	0.08	0.10	0.12	0.16	0.22	0.30	0.36	0.43			

T4 Distribution Only

Power (Wattage)	01	02	03	04	05	06	07	08	09	10	11	12
Input Current @ 120V (A)	0.24	0.34	0.41	0.50	0.56	0.86	1.11	1.34	1.58			
Input Current @ 208V (A)	0.14	0.19	0.23	0.29	0.38	0.44	0.58	0.69	0.81			
Input Current @ 277V (A)	0.10	0.15	0.18	0.22	0.24	0.37	0.50	0.59	0.68			
Input Current @ 347V (A)	0.08	0.12	0.14	0.17	0.21	0.31	0.41	0.48	0.57			
Input Current @ 480V (A)	0.06	0.09	0.10	0.12	0.15	0.23	0.30	0.36	0.43			

TRACE-LITE commercial & industrial lighting

SCP-S Series

Surface Mount Performance LED Canopy



Model: _____ Date: _____
Accessories: _____ Type: _____

DESCRIPTION

The SCP-S is a low-profile 12" surface mount square canopy with a variety of precision engineered optics for application flexibility. This canopy optimizes optical performance and long-life with superior thermal management in an attractive and durable die-cast aluminum enclosure with a premium PMMA lens that does not yellow over time. This product can be easily surface or pendant mounted and is the ideal energy saving solution for applications including, but not limited to, parking garages, schools, office complexes, light commercial development, apartments, walkways, entryways and driveways.

CONSTRUCTION

- Precision die-cast aluminum enclosure and backplate with stainless steel hardware
- White powder coat finish, custom colors available upon request
- IP66 rated light engine compartment
- Single 1/2" side knockout

OPTICS/LEDS

- UV-stabilized polymethyl methacrylate (PMMA) optics that will not yellow over time
- Garage optics provides a type V short symmetric square distribution with light focused in the 60° to 80° zones. This product can be easily surface or pendant mounted and is the ideal energy saving solution for applications including, but not limited to, parking garages, schools, office complexes, light commercial development, apartments, walkways, entryways and driveways.
- Performance optic provides a type VS (square) very short distribution and offers more light in the 30° to 60° zones. Ideal for higher mounting heights over 12'
- Low glare optic provides excellent Type VS (square) short distribution with exceptional glare control
- From 30W to 67W with up to 1016 lumens for maximum project flexibility
- Efficacies up to 134 LPW maximize energy savings and utility rebates
- 4000K CCT and 5000K CCT
- L70 of 190,000 hours
- CRI 91

ELECTRICAL

- 120-277VAC, 50/60Hz
- 0-10V Dimming driver

INSTALLATION

- Fixture enclosure is attached to backplate by four white fasteners
- Backplate easily attaches to a recessed 3" or 4" joist
- Pendant mounted using standard 1/2" downrod and hardware (provided by client)

OPTION

- Integral battery backup (IBB) offers over 900 lumens and 90 minutes of runtime for path of egress. Rated for ambient temperatures between 0°C to 40°C (32°F to 104°F). Battery backup option available on the SCP-S-20-PV-4K-WH only.

TESTING & COMPLIANCE

- eUL Listed to UL1598 for Wet Locations for maximum project flexibility
- DesignLgns Consortium (DLC) and DLC PREMIUM Qualified (See performance data on page 2 for specific models)
- Operating temperatures: -40°C to 40°C (40°F to 104°F)

WARRANTY

- Five year warranty (terms and conditions apply)

Specs At A Glance*

Wattage (W)	20	36	50	67
Lumens (lm)	2670	4815	6568	10464
Efficacy (LPW)	130	133	131	133
Equivalency (HID)	70W	100W	150W	250W

Distribution: Garage (G), Type VS Square Short
Performance (P), Type VS Square Very Short

CCT: 4000K, 5000K

Input Voltage: 120-277VAC, 50/60Hz, 0-10V Dimmable
Operating Temp: -40°C to 40°C (40°F to 104°F)

Connectors: eUL Listed, Wet Locations Covered Category, DLC & DLC PREMIUM

Warranty: 5 Years
Weight: 7.0 lbs

ORDERING INFORMATION

Example: SCP-S-20-P-VS-4K-WH-IBB

Series	Wattage	Optics	Input Voltage	CCT	Finish	Options
SCP-S	20 - 67 Watts	G = Garage P = Performance	VS = 120-277V	4K = 4000K 5K = 5000K	WH = White CC = Custom Color	IBB = Battery Backup

Notes: *Non-stocked item, longer lead times apply, consult factory for details
† Consult factory for details
‡ Color and 277V operation, 0-10V dimming not available, not ETL Listed, available on SCP-S-20-P-VS-4K-WH model only
§ Color as separate line item

PERFORMANCE DATA

MODEL	STOCK/MTD*	WATTAGE (W)	CCT	LUMENS	EFFICACY	CRI	DLC
SCP-S-20-LG-VS-4K	STOCK	20	4000K	2352	115	72	DLC
SCP-S-20-VS-4K	STOCK	20	4000K	2543	124	72	DLC PREMIUM
SCP-S-20-PV-4K	STOCK	20	4000K	2670	130	72	DLC PREMIUM
SCP-S-20-LG-VS-5K	MTD	20	5000K	2350	114	73	DLC
SCP-S-20-VS-5K	MTD	20	5000K	2533	123	72	DLC PREMIUM
SCP-S-20-PV-5K	MTD	20	5000K	2670	129	72	DLC PREMIUM
SCP-S-36-LG-VS-4K	STOCK	36	4000K	4227	117	72	DLC PREMIUM
SCP-S-36-VS-4K	MTD	36	4000K	4582	126	72	DLC PREMIUM
SCP-S-36-PV-4K	STOCK	36	4000K	4815	133	72	DLC PREMIUM
SCP-S-36-LG-VS-5K	MTD	36	5000K	4282	118	73	DLC PREMIUM
SCP-S-36-VS-5K	MTD	36	5000K	4401	126	73	DLC PREMIUM
SCP-S-36-PV-5K	MTD	36	5000K	4639	133	73	DLC PREMIUM
SCP-S-50-LG-VS-4K	MTD	50	4000K	5702	114	72	DLC
SCP-S-50-VS-4K	MTD	50	4000K	6306	125	72	DLC PREMIUM
SCP-S-50-PV-4K	MTD	50	4000K	6588	131	72	DLC PREMIUM
SCP-S-50-LG-VS-5K	MTD	50	5000K	5900	113	72	DLC
SCP-S-50-VS-5K	MTD	50	5000K	6168	123	72	DLC PREMIUM
SCP-S-50-PV-5K	MTD	50	5000K	6472	130	72	DLC PREMIUM
SCP-S-67-LG-VS-4K	MTD	67	4000K	7829	117	72	DLC PREMIUM
SCP-S-67-VS-4K	MTD	67	4000K	8486	126	72	DLC PREMIUM
SCP-S-67-PV-4K	MTD	67	4000K	8940	133	72	DLC PREMIUM
SCP-S-67-LG-VS-5K	MTD	67	5000K	7987	118	72	DLC PREMIUM
SCP-S-67-VS-5K	MTD	67	5000K	8589	128	71	DLC PREMIUM
SCP-S-67-PV-5K	MTD	67	5000K	9016	134	72	DLC PREMIUM

*MTD = Made to order (subject to change, consult factory for lead times)


COOPER Lighting Solutions

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TYPE W2

PERFORMANCE IN LIGHTING

SHIELD+ 2 TYPE III



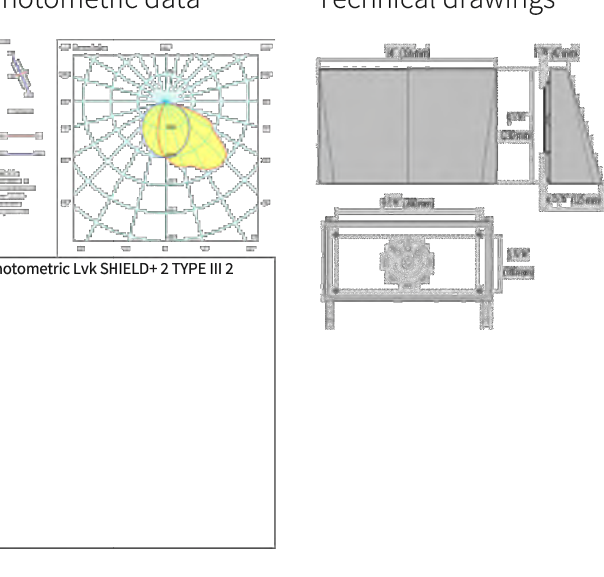
Part number: 070449

Lamp/Source: LED
Wattage: 80 W
Finish: AN 56 / Iron gray / Textured
Degree of protection: IP66
CRI: 80
Beam: 4000
Optic: Asymmetric extra wide reflector
Luminaire lumen output: 1780 lm
L: L80
B: 75000 h
cULus: ✓
Voltage: 120-277 V 50/60 Hz

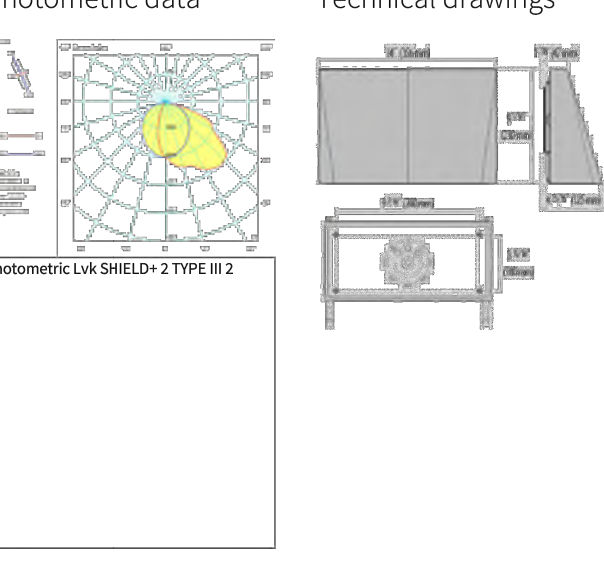
Description

Long lasting energy efficient wall pack fixture. Features include:
• Multi-stage powder coat painting process, optimized against UV rays and corrosion.
• Corrosion free precision die-cast aluminum housing and mounting plate.
• Corrosion resistant, ultra-ventilated, flat glass diffuser.
• Custom molded, anti-vibrating gasket.
• Stainless steel external hardware.
• High efficiency COB, combined with an optimized passive cooling system, provides a long LED life.
• Spectator vacuum metallized polycarbonate reflector provides full cutoff, no glare design, and precision optical control.
• 60W Type III light distribution.
• Input voltage: 120-277 V (50 / 60) Hz, Integrated 0-10V dimming driver.
• Input voltage: 120-277 V (50 / 60) Hz, Integrated 0-10V dimming driver (120 / 132 W version).
• Field installable integral 8-lumen lumen/wattage package (12 W / 53 lm) proprietary COP switch driver for SHIELD+ 2 luminaire factory settings (see the luminaire data).
• Standard knock-out template for multiple junctions has mounting options.
• Suitable for three surface-mounted control entry points with 1/2" NPT plugs.
• 10' TPO and PVC, 120-277 V (50 / 60) Hz photometric switch options available (ordered separately).
• Four optional finishes available. Add finish suffix to any part number for finished Black (BK-FL), Iron Gray (ANG-GR), Aluminum metallic (GR-AL), White (WH-87), Iron cast (IR-10) when not standard.
• Consult factory for dimming options, marine grade, custom finishes (please specify RM, CUL), and non-qualified CCT. Note: options including static colors.
• Product meets the American AC requirements within 1000V.
• 5-year warranty.

Photometric data



Technical drawings




COOPER Lighting Solutions

PS58002021 page 1
October 27, 2021 4:04 PM

SLS410 LED

Surface Mounted Wall Luminaires

TYPE W1E



Description

IP66, Class I, 300° Marine-grade, die-cast aluminum alloy. SCE superior corrosion protection including PCB hardware. Silicone rubber gaskets. Safety glass lens. Integral EC electronic converter. CAD-optimized optics for superior illumination and glare control. QLED One LED Concept. Suitable for installation over 4" recessed junction box. Optional ZENK e version up to max. 1000mA available. To be specified at time of ordering.

Dimensions

4.13" x 10.04" x 7.87" x 2.24"

COOPER Lighting Solutions

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November 1, 2021 10:59 AM

TYPE W3 & W4

Lumark

Prevail / Prevail XL Discrete LED

Area / Site Luminaire

Product Features

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 7,500 - 41,000 nominal lumens (50W - 350W)
- Replace 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Standard universal quick mount arm with universal drill (DATS)

Connected Systems

- WaveLinx
- Enlighted

COOPER Lighting Solutions

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TYPE W3 & W4

Lumark

PRV / PRV-XL Prevail Discrete

Ordering Information

SAMPLE NUMBER: PRV-XL-P48-740-U-TAW-8Z

Manufacturer/Part	Light Engine	Color Temperature	Power	Beam Spread	Mounting Options	Notes
PRV-XL-P48-740-U-TAW-8Z	PRV-XL P48 740 U TAW 8Z	4000K	740W	120°	Surface Mount	

Options (Add as Suffix)

Accessories (Color Separators) *


COOPER Lighting Solutions

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November 1, 2021 10:59 AM

TYPE W2

PERFORMANCE IN LIGHTING

SHIELD+ 2 TYPE III



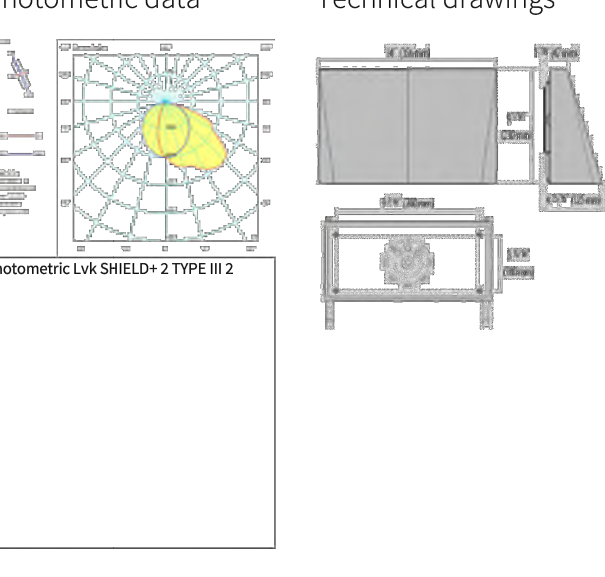
Part number: 070449

Lamp/Source: LED
Wattage: 80 W
Finish: AN 56 / Iron gray / Textured
Degree of protection: IP66
CRI: 80
Beam: 4000
Optic: Asymmetric extra wide reflector
Luminaire lumen output: 1780 lm
L: L80
B: 75000 h
cULus: ✓
Voltage: 120-277 V 50/60 Hz

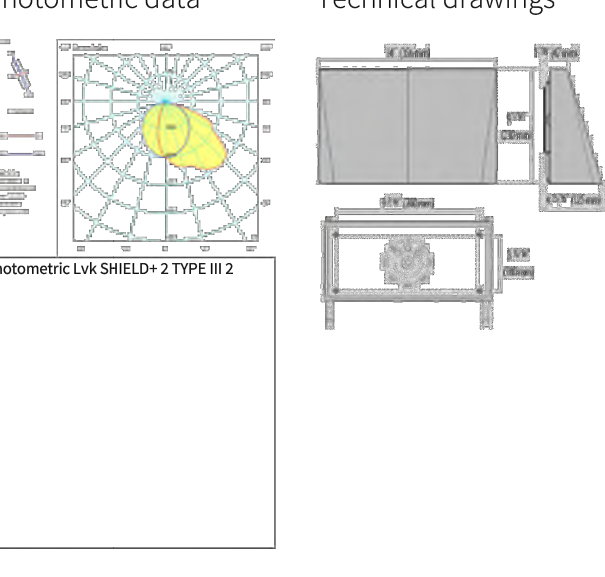
Description

Long lasting energy efficient wall pack fixture. Features include:
• Multi-stage powder coat painting process, optimized against UV rays and corrosion.
• Corrosion free precision die-cast aluminum housing and mounting plate.
• Corrosion resistant, ultra-ventilated, flat glass diffuser.
• Custom molded, anti-vibrating gasket.
• Stainless steel external hardware.
• High efficiency COB, combined with an optimized passive cooling system, provides a long LED life.
• Spectator vacuum metallized polycarbonate reflector provides full cutoff, no glare design, and precision optical control.
• 60W Type III light distribution.
• Input voltage: 120-277 V (50 / 60) Hz, Integrated 0-10V dimming driver.
• Input voltage: 120-277 V (50 / 60) Hz, Integrated 0-10V dimming driver (120 / 132 W version).
• Field installable integral 8-lumen lumen/wattage package (12 W / 53 lm) proprietary COP switch driver for SHIELD+ 2 luminaire factory settings (see the luminaire data).
• Standard knock-out template for multiple junctions has mounting options.
• Suitable for three surface-mounted control entry points with 1/2" NPT plugs.
• 10' TPO and PVC, 120-277 V (50 / 60) Hz photometric switch options available (ordered separately).
• Four optional finishes available. Add finish suffix to any part number for finished Black (BK-FL), Iron Gray (ANG-GR), Aluminum metallic (GR-AL), White (WH-87), Iron cast (IR-10) when not standard.
• Consult factory for dimming options, marine grade, custom finishes (please specify RM, CUL), and non-qualified CCT. Note: options including static colors.
• Product meets the American AC requirements within 1000V.
• 5-year warranty.

Photometric data



Technical drawings



COOPER Lighting Solutions

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TYPE W3 & W4

Lumark

Prevail / Prevail XL Discrete LED

Area / Site Luminaire

Product Features

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 7,500 - 41,000 nominal lumens (50W - 350W)
- Replace 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Standard universal quick mount arm with universal drill (DATS)

Connected Systems

- WaveLinx
- Enlighted

COOPER Lighting Solutions

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TYPE W3 & W4

Lumark

PRV / PRV-XL Prevail Discrete

Ordering Information

SAMPLE NUMBER: PRV-XL-P48-740-U-TAW-8Z

Manufacturer/Part	Light Engine	Color Temperature	Power	Beam Spread	Mounting Options	Notes
PRV-XL-P48-740-U-TAW-8Z	PRV-XL P48 740 U TAW 8Z	4000K	740W	120°	Surface Mount	

Options (Add as Suffix)

Accessories (Color Separators) *

COOPER Lighting Solutions

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Manufacturer/Part
