

McNeill Real Estate Services, Inc.

NORTHPOINT PARKWAY AT THUNDERBOLT WAY

SANTA ROSA, CALIFORNIA

City of Santa Rosa
Planning & Economic
Development Department
Aug 22, 2023
RECEIVED

RMW
Architecture
Interiors
1718 Third Street
Suite 101
Sacramento, California 95811

Office 916 449-1400
rmw.com

CLIENT:
McNeill Real Estate
Services
Joseph A McNeill, III
916 718 5659
Ca DRE # 0113862

PRELIMINARY DESIGN DOCUMENTS FOR:
**NORTHPOINT
COMMERCE
CENTER**
NORTHPOINT PARKWAY AT
THUNDERBOLT WAY
SANTA ROSA, CALIFORNIA

approved for the owner by :
approved for the architect by :
issue : description : date :
A ISSUED FOR REVIEW 03-21-2023



PROJECT NARRATIVE:

Design Concept: The design concept and design approach for the building is based on and takes its cues from the architectural style of modernism which is characterized by clean geometric forms and clean lines with an emphasis on the horizontal aspect of the building's facade.

Site: The project site is located on the south side of Northpoint Parkway between Kingfisher and Thunderbolt Ways, in the City of Santa Rosa, California. The 6.81 acre site is currently undeveloped.

Building: The project plan proposes one industrial building totaling 114,884 square feet. The industrial buildings will be of Type VB construction, site cast, tilted concrete panels with a variety of architectural enhancements. The typical wall panels are to be enhanced with reveals and a textured elastomeric, multicolored coating system. The areas around the building entries are also enhanced with tinted glazing in aluminum frames with overhead steel-framed painted canopies. The placement of these enhancements is focused at those locations most visible from the public roadways.

Site Access and Parking: One site entrance drive is proposed along Kingfisher Way. A second drive is provided along Thunderbolt Way. The site plan proposes a total of 166 vehicle parking stalls for employees and or customers.

Signage: The proposed signage in this submittal is for reference only. Criteria for future tenant signage will be provided at a later date and under a separate permit as required.

Landscaping: The project will be fully landscaped using plants appropriate for and indigenous to the City of Santa Rosa. Low water use plants will be used extensively, while moderate water use plants will be concentrated at accent points, such as driveways and building entries.

Sustainable Materials & Construction Practices: The project will incorporate a variety of sustainable materials and construction practices to include the following: 1) A storm water pollution prevention plan to minimize contamination, erosion, and dust pollution during construction. All storm water runoff from impervious surfaces (roofs and paving) will be routed through a specially designed water quality detention and treatment basin. Additionally, if needed, on-site detention will be provided to meet the City of Santa Rosa standards. 2) Storage and collection of recyclable materials. 3) Construction waste management. 4) Environmental tobacco smoke control. 5) Heat reflecting roof membranes. 6) Light pollution reduction. 7) Water efficient landscaping. 8) Water reduction methods. 9) Low VOC emitting sealants, adhesives, coatings, floorings, and wood materials. 10) Roof structures designed to accommodate additional weight for roof-top photovoltaic electricity generation panel arrays. 11) California Green Building Code compliant electric vehicle charging stations at eight locations. 12) The project architect is a LEED accredited professional and will apply his knowledge of LEED techniques and practices to the project design and construction.

VICINITY MAP:



PROJECT TEAM:

OWNER:
McNEILL REAL ESTATE SERVICES, INC.
5245 TAPESTRY CT.
FAIRFIELD, CA 94534
P: 916-718-5659

ARCHITECT:
RMW ARCHITECTURE & INTERIORS
1718 3RD STREET, SUITE 101
SACRAMENTO, CA 95811
P: 916-449-1400 x405

CIVIL ENGINEER:
BC ENGINEERING GROUP INC.
4188 B STREET - 3RD FLOOR
SANTA ROSA, CA 95401
P: 707-542-4321

LANDSCAPE DESIGNER:
DESIREE GARON
308 HATCHERY LANE
SONOMA, CA 95476
P: 707-694-6139

DESIREE GARON
dgaron@magnane.com

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A02.1 PRELIMINARY FLOOR PLAN
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PH01.1 PRELIMINARY PHOTOMETRIC LIGHTING SITE PLAN
PH01.2 LIGHTING CUT SHEETS

* DENOTES A SHEET TO BE PRINTED IN FULL COLOR

drawn by : TLG plot date : 09-03-2021

checked by : AGJDL

stamp

scale : AS NOTED
project number : 2204025.00

COVER SHEET

sheet no. :

A00.1



C: VIEW OF NORTH EAST CORNER



A: VIEW OF FRONT ELEVATION



B: VIEW OF NORTH WEST CORNER

PROJECT RENDERINGS
SCALE: NO SCALE

1

drawn by : TLG plot date : 09-03-2021

checked by : AGJDL

stamp

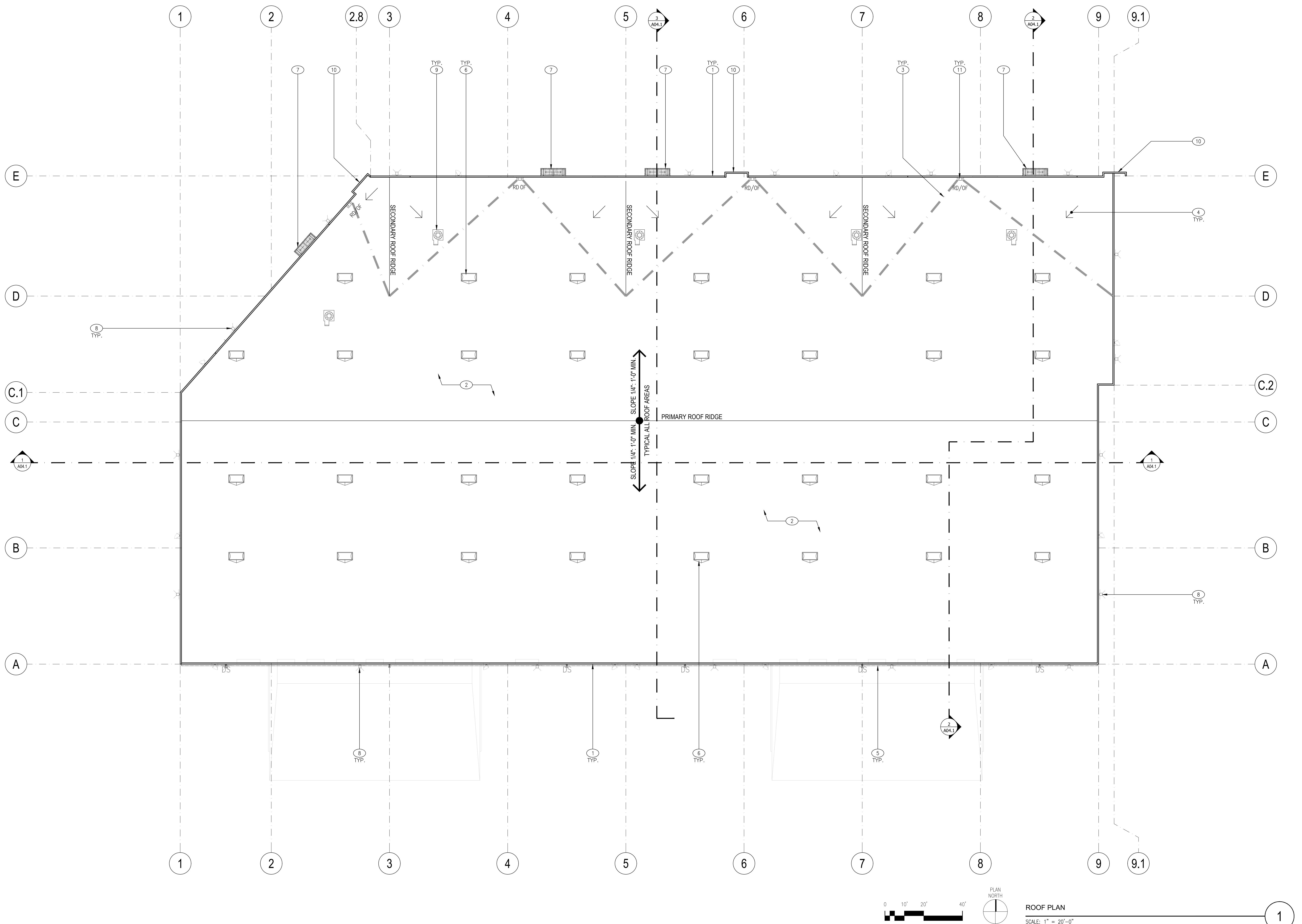


scale : AS NOTED
project number : 2204025.00
sheet no. : 1

**PROJECT
RENDERINGS**

A00.2





KEYNOTES:

- (1) LINE OF TYPICAL PARAPET WALL
- (2) TYPICAL LOW SLOPE ROOF 1/4" PER 12" MIN. SLOPE. ROOF ASSEMBLY CONSISTS OF A TPO SINGLE PLY SYSTEM OVER 1/2" STRUCTURAL SHEATHING OVER SLOPED STRUCTURAL FRAMING.
- (3) THICK DASHED GRAY LINE INDICATES WARPED ROOF AREA
- (4) INDICATES DIRECTION OF ROOF SLOPE
- (5) CONTINUOUS METAL CUTTER AND DOWNSPOUTS. PAINT TO MATCH ADJACENT BUILDING. SEE EXTERIOR ELEVATIONS FOR FINISH COLOR
- (6) INDICATES LOCATION OF 4' X 8' SELF-CURBING DUAL DOME SKYLIGHT. PROVIDE SHAPED FOAM CRICKET AT HIGH SIDE(S) OF SKYLIGHT CURB TO PROVIDE SLOPE FOR DRAINAGE
- (7) ENTRY STEEL CANOPY BELOW. SEE EXTERIOR ELEVATIONS, SHEET A03.1 FOR FINISHES.
- (8) EXTERIOR LED WALL LIGHTS. SEE SHEET A03.1
- (9) POTENTIAL LOCATION OF FUTURE ROOF MOUNTED HVAC EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE DETERMINED AT TIME OF TENANT IMPROVEMENTS AND SHALL BE SCREENED FROM VIEW BY NATURE OF ITS PLACEMENT OR BY A FUTURE MECHANICAL SCREEN.
- (10) EXTERIOR TILT-UP CONCRETE ACCENT WALL. SEE SHEET EXTERIOR ELEVATIONS, SHEET A03.1.
- (11) INTERNAL ROOF AND ROOF OVERFLOW DRAINS

scale: AS NOTED

project number: 2204025.00

sheet no.:

A02.2

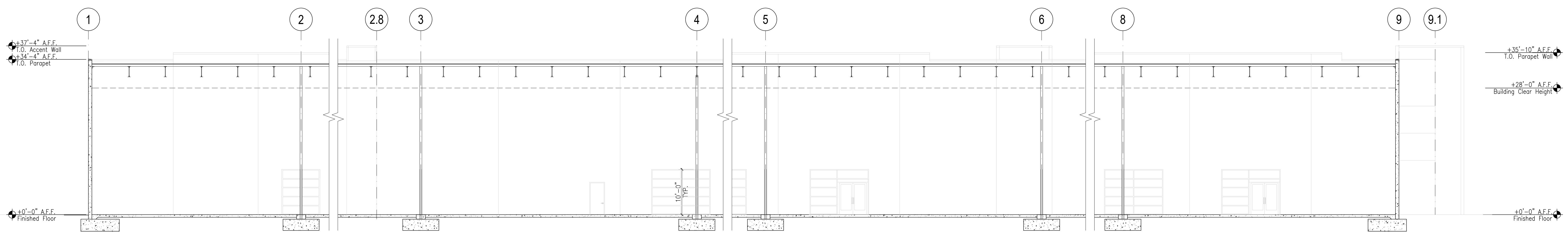
**NORTHPOINT
COMMERCE
CENTER**

NORTHPOINT PARKWAY AT
THUNDERBOLT WAY
SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

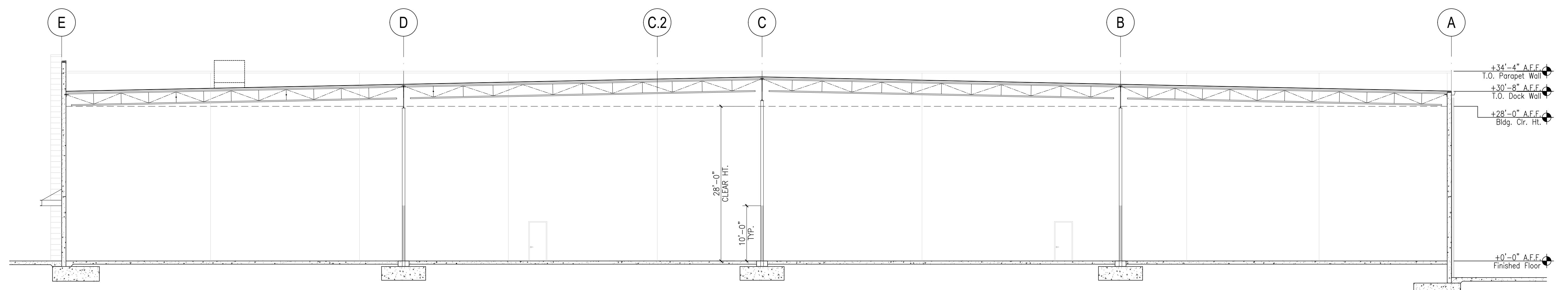
issue : description : date :
A ISSUED FOR REVIEW 03-21-2023



PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

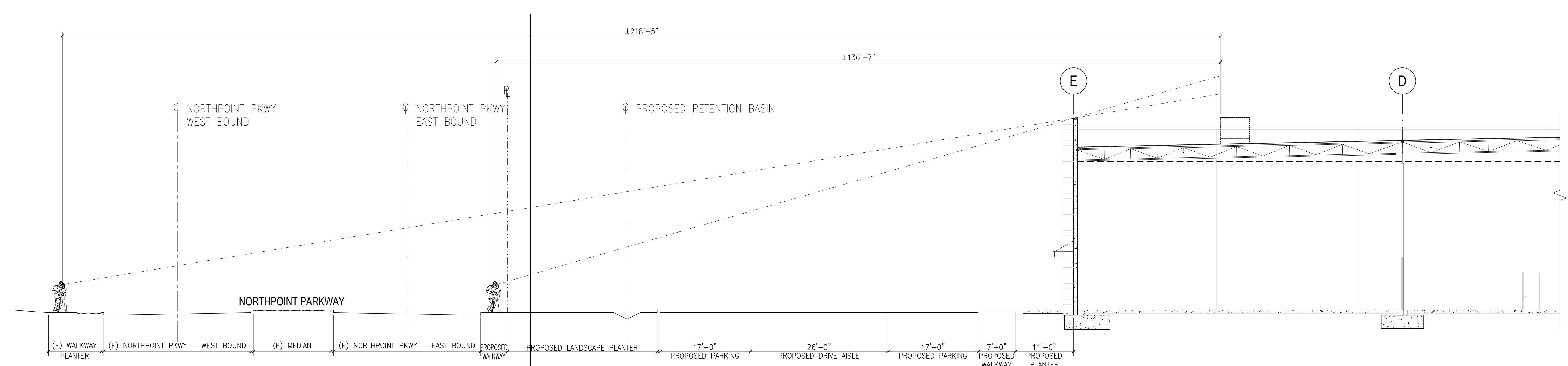
1



PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

2



LINE OF SIGHT SECTION @ NORTHPOINT PARKWAY

SCALE: 1" = 10'-0"

3

drawn by : TLG plot date : 09-03-2021

checked by : AGUDL

stamp

scale : AS NOTED
project number : 2204025.00

**BUILDING
SECTIONS/ LINE OF
SIGHT SECTION**

sheet no. :

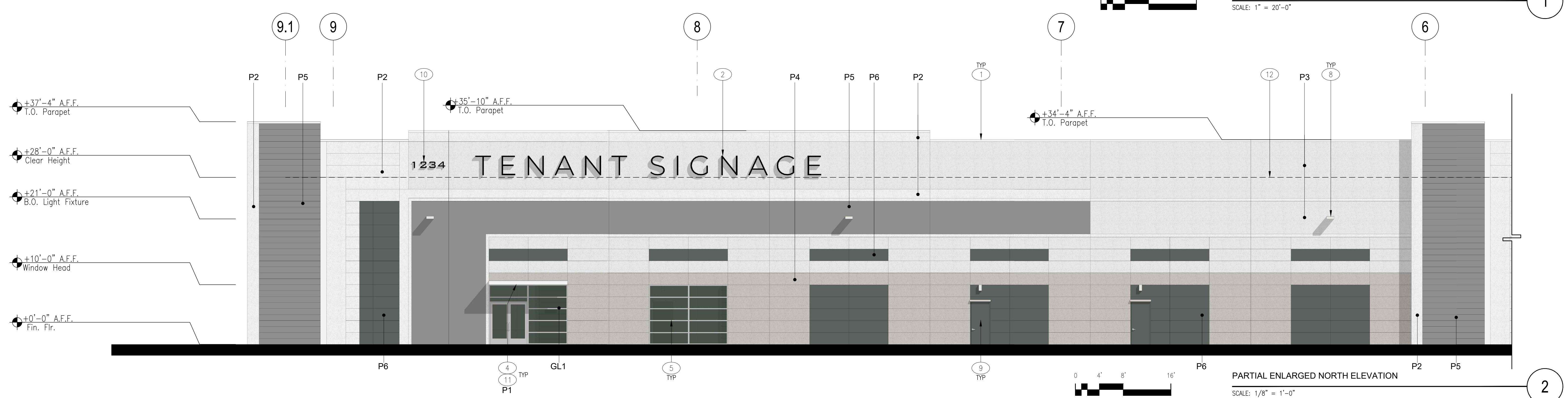
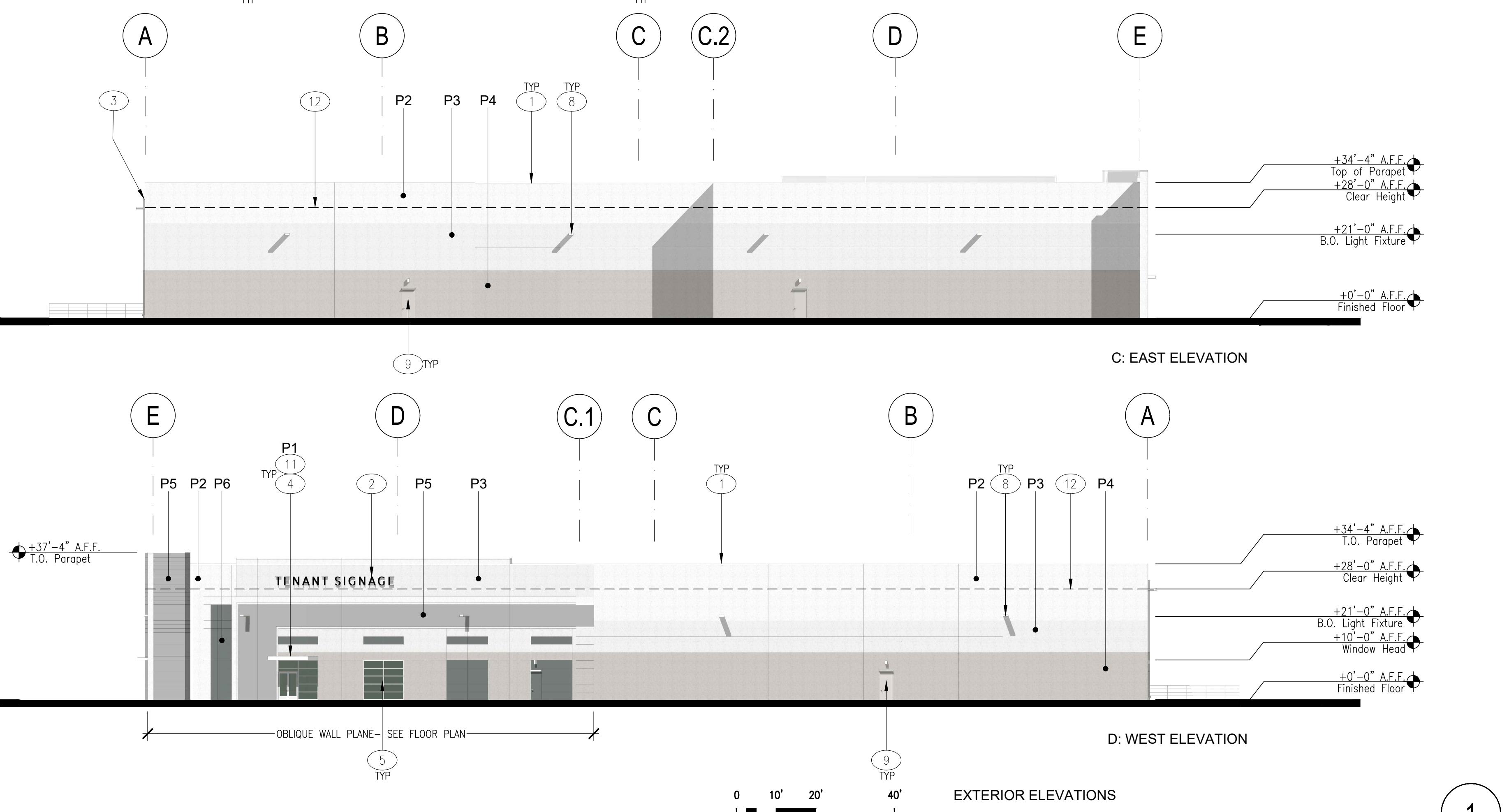
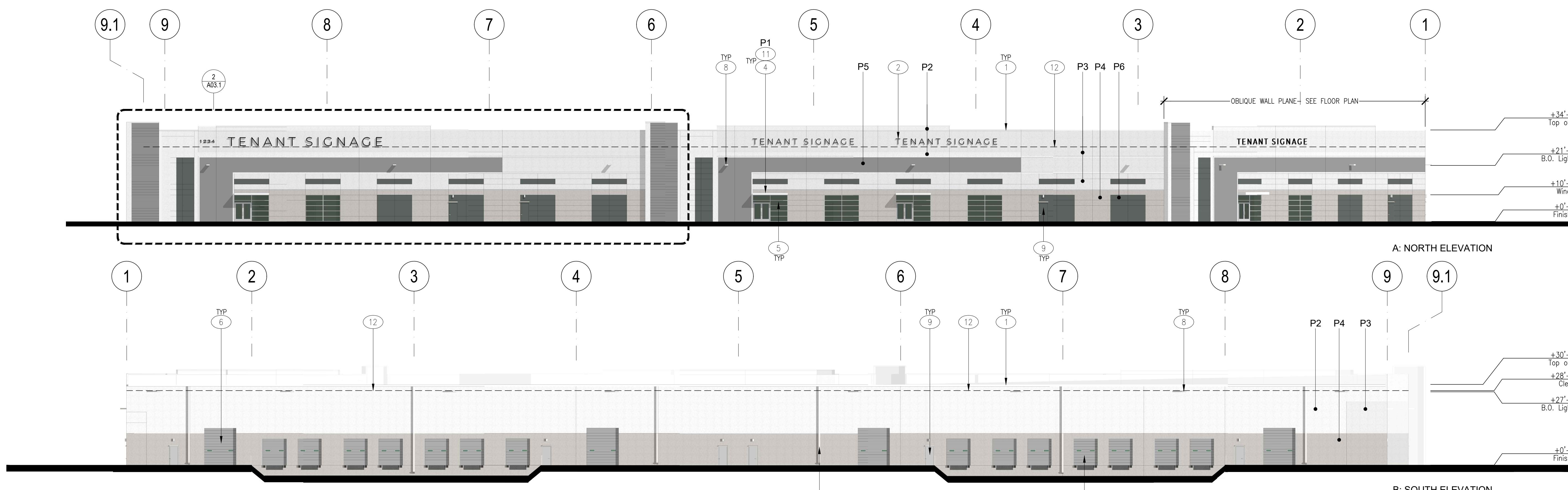
A04.1

KEYNOTES:

- 1 TYPICAL SITE CAST, CONCRETE TILT-UP PANELS WITH 3/4" REVEALS AND A MULTI COLOR TEXTURED COATING SYSTEM.
- 2 TENANT SIGNAGE UNDER SEPARATE PERMIT.
- 3 CONTINUOUS GUTTER AND SURFACE MOUNTED DOWNSPOUTS.
- 4 12" THICK x 3'-11" DEEP x 13'-4" WIDE PAINTED STEEL CHANNEL CANOPIES, 4 TOTAL, PAINT AS SPECIFIED, TYPICAL AT MAIN ENTRANCE STOREFRONT OPENINGS.
- 5 TYPICAL WINDOW SYSTEM: DUAL PANE GLAZING IN 2" x 4" (NOMINAL) THERMLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. OUTER GLAZING PANE TO BE TINTED WITH LOW-E COATING ON INTERIOR SURFACE. INNER PANE CLEAR FLOAT. STOREFRONT DOORS WHERE SHOWN. 4 STOREFRONT LOCATIONS TOTAL.
- 6 12' X 14' GRADE LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
- 7 9' X 10' DOCK LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
- 8 EXTERIOR WALL PACK LIGHTING. SEE PHOTOMETRIC DRAWINGS.
- 9 3' X 7' STEEL MAN DOOR WITH EMERGENCY LIGHT FIXTURE CENTERED OVER DOOR. SEE PHOTOMETRIC PLAN FOR FIXTURE TYPE. PAINT DOOR TO MATCH ADJACENT WALL COLOR.
- 10 ADDRESS SIGNAGE UNDER SEPARATE PERMIT AND SHALL MEET BUILDING, FIRE AND SHERIFF DEPT REQUIREMENTS.
- 11 CANOPY LIGHTING, SEE PHOTOMETRIC DRAWINGS.
- 12 DASHED LINE INDICATES INTERNAL CLEAR HEIGHT. SEE ELEVATIONS FOR HEIGHT.

FINISH LEGEND:

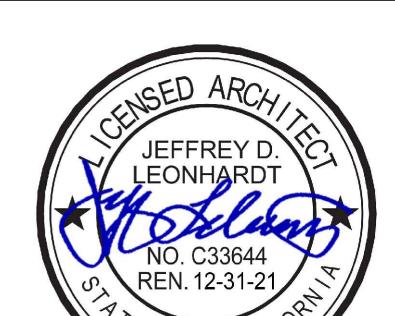
GL1: VITRO ARCHITECTURAL GLASS "ATLANTICA" EMERALD GREEN GLASS IN THERMLY BROKEN CLEAR ANODIZED ALUMINUM FRAMES	



drawn by: TLG plot date: 09-03-2021

checked by: AGJDL

stamp



scale: AS NOTED
project number: 2204025.00

EXTERIOR ELEVATIONS

sheet no.: 2

A03.1

PROJECT INFORMATION

PROJECT ADDRESS: 1408 THUNDERBOLT WAY
SANTA ROSA, CA 95407

OWNER/DEVELOPER: MCNEILL REAL ESTATE SERVICES, INC.
C/O: JOSE MCNEILL
5254 TAPESTRY COURT,
FAIRFIELD, CA 94534
(916) 718-5659

CIVIL ENGINEER: THOMAS J. BILLETER, P.E.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

SURVEYOR: CINQUINI & PASSARINO, INC
1360 NORTH DUTTON AVENUE #150
SANTA ROSA, CA 95401
(707) 542-2106

AREA: 6.80 ACRES

SHEET INDEX

C1.0 PROJECT INFO
C1.1 GRADING AND UTILITY PLAN
C1.2 CROSS SECTION VIEWS

DESIGN REVIEW NOTES

GENERAL PLAN DESIGNATION: BUSINESS PARK

CURRENT & PROPOSED ZONING: BP (BUSINESS PARK)

WATER SERVICE: CITY OF SANTA ROSA

SEWER SERVICE: CITY OF SANTA ROSA

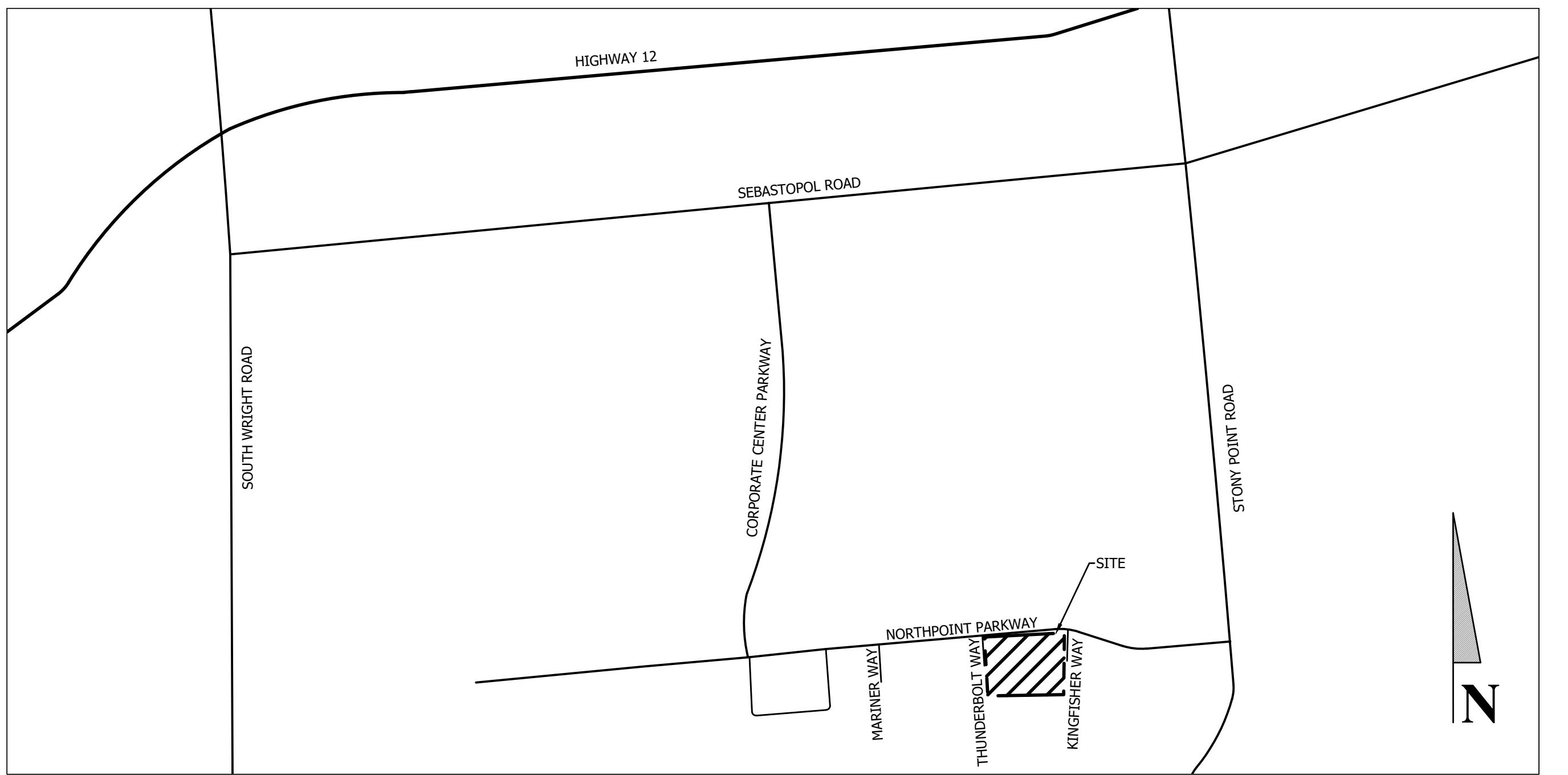
PARKING SUMMARY:

STANDARD	101
COMPACT	43
ADA - STANDARD	6
ADA - VAN	0
MOTORCYCLE	0
EV CHARGING	12
FUTURE EV	0
TOTAL	156

BIKE	15
BUS	2
POLICE	4
STAFF	3

DESIGN REVIEW DRAWINGS FOR NORTHPOINT COMMERCE CENTER

C/O JOSE MCNEILL - (916) 718-5659
THUNDERBOLT WAY, SANTA ROSA, CA 95407
APN: 035-530-023, -024, -025, -057



VICINITY MAP

NTS

ABBREVIATIONS

AB	AGGREGATE BASE	GSL	GARAGE SETBACK LINE
AC	ASPHALT CONCRETE	GR	GRADE ELEVATION
APN	ASSESSOR'S PARCEL NUMBER	HP	HIGH POINT
BC	BEGIN HORIZONTAL CURVE	INV	INVERT
BSL	BUILDING SETBACK LINE	IG	INVERT GRADE
BW	BOTTOM OF WALL AT GRADE	LF	LINEAR FEET
BLDG	FINISH GRADE BUILDING	MAX	MAXIMUM
BT	BEGINNING OF TANGENT	ME	MATCH EXISTING
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	MIN	MINIMUM
BVCS	BEGINNING OF VERTICAL CURVE STATION	NTS	NOT TO SCALE
CL	CENTERLINE	PC	POINT OF CURVE
CL.	CLASS	PCC	POINT OF COMPOUND CURVE
CPP	CORRUGATED PLASTIC PIPE	PL	PROPERTY LINE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVE
CY	CUBIC YARD	PT	POINT OF TANGENT
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
DL	DAYLIGHT	RC	RELATIVE COMPACTION
EC	END HORIZONTAL CURVE	R/W	RIGHT-OF-WAY
EG	EXISTING GROUND	S	SLOPE
EP	EDGE OF PAVEMENT	SAD	SEE ARCHITECTURAL DRAWINGS
ET	END OF TANGENT	SC	SPiral CURVE
EVCE	END OF VERTICAL CURVE ELEVATION	SD	STORM DRAIN PIPE
EVCS	END OF VERTICAL CURVE STATION	SDE	STORM DRAIN EASEMENT
EX	EXISTING	SE	SEWER EASEMENT
FF	FINISHED FLOOR	SG	SUBGRADE
FG	FINISHED GRADE	SWE	SIDEWALK EASEMENT
FL	FLOW LINE	STA	STATION
FS	FINISH SURFACE	TW	TOE OF WALL
FSS	FIRE SAFETY STANDARDS	TYP	TYPICAL
GB	GRADE BREAK	VC	VERTICAL CURVE

BC ENGINEERING GROUP, INC.	DESIGN REVIEW	REV.	DESCRIPTION	BY	DATE
CIVIL ENGINEERING & LAND PLANNING www.bceengineeringgroup.com Phone: 707-542-4321 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401 UCH OFFICE: 603 S. State Street, Uka, CA 95402	DESIGN REVIEW		PROJECT INFO		



DESIGN REVIEW
PROJECT INFO
NORTHPOINT COMMERCE CENTER
1408 THUNDERBOLT WAY
SANTA ROSA, CA 95407



DATE: 03-21-2023

JOB: 1979-20

DRAWN: JF/MD

SCALE: AS SHOWN

APN: 035-530-023

PERMIT #:

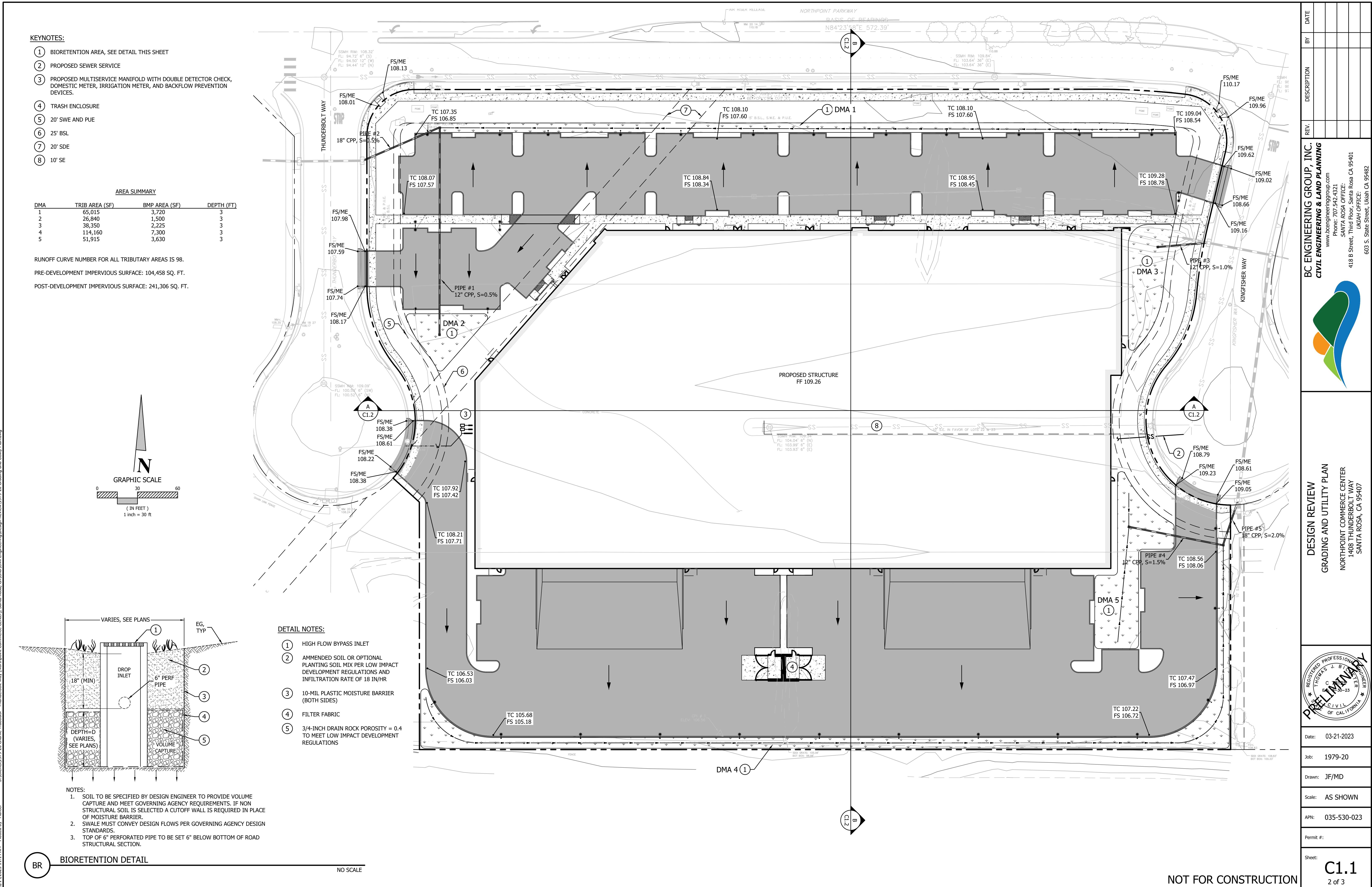
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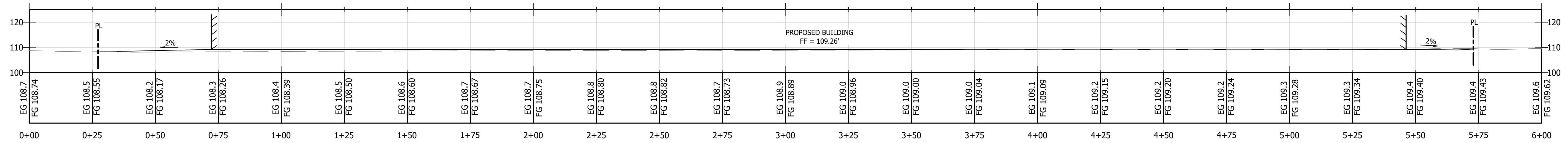
C1.0
1 of 3

LEGEND

EXISTING	PROPOSED	DEFINITION
—	—	PROPERTY LINE
—	—	ROAD CENTERLINE
—	—	ELECTRICAL (UNDERGROUND)
—	—	ELECTRICAL (OVERHEAD WIRE)
—	—	GAS LINE
—	—	GATE VALVE
—	—	HYDRANT
—	—	PIPE CAP
—	—	POINT OF COORDINATION
—	—	SANITARY SEWER PIPE
—	—	STORM WATER DRAIN PIPE
—	—	STREET LIGHT
—	—	WATER LINE
—	—	DRAINAGE SWALE FLOW LINE
—	—	EDGE OF PAVEMENT
—	—	FENCE
—	—	FLOWLINE DIRECTION ARROW
—	—	GRADE BREAK
—	—	TREE TO BE REMOVED
—	—	CONCRETE
—	—	ROCK DISSIPATER/RIP RAP
—	—	BIORETENTION AREA

NOT FOR CONSTRUCTION





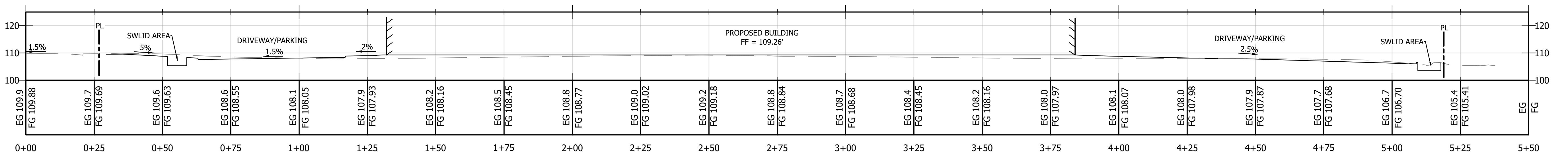
SITE SECTION A-A

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=20'

VERTICAL SCALE: 1 - 10

TE SECTION LEGEND

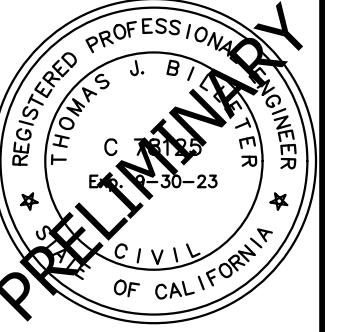
— FINISH GRADE
— EXISTING GRADE
— PROPERTY LINE



SITE SECTION B-B

VERTICAL SCALE: 1"=200'

VERTICAL SCALE: 1 = 20



LANDSCAPE DESIGN INTENT:

• Landscape design intent: The designed landscape will create continuity with the adjacent landscapes in the development and provide year-round interest in foliage color and form to soften and enhance the look of the new architecture. Signature street trees are selected from the City of Santa Rosa's approved street tree list for narrow spaces and are planted along Northpoint Parkway and Mariner Way on a grid, representing an orchard format. Plant materials selected consist of almost exclusively low water-use and low maintenance species, many native to the area. Understory and ground cover plantings are generally low profile in stature so as not to interfere with visual access into and within the site. Organic layout of shrubs and ground covers provide a natural-looking landscape. Plant selection emphasizes foliage form and color for year-long attractiveness and structure, with adequate spacing to discourage hard pruning. Dense ground covers provide weed and erosion control and ground covers selected from among fire-resistant species will be planted along the Parkway to provide a fire buffer to the site. No turf grass areas are proposed.

• Tree quantities and placement: New tree counts exceed the quantity required by the City's tree/parking ratio. Parking areas contain (36) trees at 1:4.5 ratio with the (164) proposed parking spaces. There are an additional (24) trees for the remaining 24,500 square feet of landscaped area, or (1) tree for every 600 square feet of landscaped area. Street trees are provided at 1 per 20-feet of commercial frontage per the City Design Guidelines (Streetscapes). Street trees are held back 30-feet from the corner curb return.

• Sound mitigation for neighboring properties: A new 8' tall, poured-in-place, integrally colored concrete site wall will be located along the south project border, to provide visual and sound mitigation for residences to the south. The south face of the wall will be planted with a vigorous, climbing vine to soften and green it's view.

• Planting scheme at property lines and entries: Enhanced entry planting will direct users to entry points via bold year-round color and textural contrast. To supplement the screening provided by trees on adjacent parcels, new tree species along the west property line have been added. Trees are located so that at maturity they do not interfere with safe sight distances for vehicular, bicycle, or pedestrian traffic nor will they conflict with overhead utility lines, overhead lights, or walkway lights.

• Root barriers: Appropriate root barriers shall be provided in any planters and parking islands less than 10' in width.

• Existing trees: There are no existing trees on site that will require removal.

DESIRÉE
GARON

LANDSCAPE
ARCHITECT

308 HATCHERY LANE
SONOMA, CA 95476
PH (707) 694-6139

CALIFORNIA PLA #5216
EXP 11/30/21

IRRIGATION STATEMENT:

• All landscaped areas will be provided with an approved, fully automated irrigation system to include an automatic master control with multi-calendar, timer, and multi-station capabilities, in compliance with Section 20-34.060 and with the City's Water Efficient Landscape Ordinance.

• Irrigation system will be designed to avoid runoff, low head drainage, overspray or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures. Proper irrigation equipment and schedules, including repeat cycles, shall be used to closely match application rates to infiltration rates to minimize runoff. Plants with similar water requirements shall be grouped together in distinct hydrozones.

• A master valve and flow sensor will be provided near the irrigation point of connection and connected to the automatic irrigation controller to sense and shutdown the system in case of a catastrophic event. All ground cover, shrub, and perennial planting areas will receive a high efficiency inline drip system. The automatic irrigation controller will utilize either evapotranspiration or soil moisture sensor data with non-volatile memory. Sensors (rain, freeze, wind, etc.), either integral or auxiliary, that suspend or alter irrigation operation during unfavorable weather conditions will be provided for all zones.

PROPOSED TREE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	HEIGHT X WIDTH AT Maturity	QTY **	DESCRIPTION
	Arbutus 'Marina'	Strawberry Tree	Low	24" Box	20' x 20'	17	Evergreen accent tree
	Cercis occidentalis	Western Redbud	Low	15 Gal	15' x 15'	11	Deciduous accent tree
	Ginkgo biloba 'Saratoga'	Maidenhair Tree	Moderate	15 Gal	30' x 50'	7	Deciduous accent tree
	Magnolia 'Little Gem'	Dwarf Magnolia	Moderate	15 Gal	18' x 8'	5	Evergreen accent tree
	Pistacia c. 'Keith Davy'	Chinese Pistache	Low	36" Box	25' x 25'	17	Deciduous shade tree
	Quercus agrifolia	Coast Live Oak	Low	15 Gal	20'-75' x 30'-60'	6	Native Oak/storm retention area

** Refer to Landscape Design Intent Statement above for more information on tree quantities required.

PROPOSED PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	ON CENTER SPACING	DESCRIPTION
Shrubs						
	Arctostaphylos 'Sunset'	Sunset Manzanita	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	Berberis atropurpurea	Japanese Barberry	Low	5 Gal	4'-0" o.c.	Deciduous foundation shrub
	Ceanothus 'SkyRyk'	Wild Lilac	Low	5 Gal	6'-0" o.c.	Evergreen foundation shrub
	Heteromeles arbutifolia	Toyon	Low	5 Gal	8'-0" o.c.	Evergreen foundation shrub
	Cistus salviifolius	White Rockrose	Low	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen foundation shrub
	Grevillea noellii	Grevillea	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	Pennisetum orientale	Fountain Grass	Moderate	1 Gal	3'-0" o.c.	Ornamental Grass
	Rosa 'Flower Carpet Red Rose'	Rosa x Noire'	Low	5 Gal	3'-0" o.c.	Semi deciduous accent shrub
	Salvia greggii 'Purple'	Purple Sage	Low	5 Gal	3'-0" o.c.	Evergreen foundation shrub
	Xylosma c. compacta	Compact Xylosma	Low	5 Gal	5'-0" o.c.	Evergreen hedge shrub
Ground Cover						
	Ceanothus g.h. 'Yankee Point'	California Lilac	Low	5 Gal	6'-0" o.c.	Evergreen ground cover
	Coprosma p. 'Verde Vista'	Coprosma	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Cotoneaster lowfast	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Carex divisa	Berkely Sedge	Low	1 Gal	2'-0" o.c.	Water-tolerant ornamental grass
	Chondropetalum tetorum	Small Cape Rush	Low	1 Gal	4'-0" o.c.	Water-tolerant ornamental grass
Storm Retention Planting						
	Coleonema p. 'Sunset Gold'	Bright Star Yucca	Moderate	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	Cotoneaster lowfast	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	Loropetalum chinense	Chinese Fringe Flower	Moderate	5 Gal	5'-0" o.c.	Evergreen foundation shrub
Corner/Entry Treatment						
	Parthenocissus tricuspidata	Boston Ivy	Low	1 Gal	4'-0" o.c.	Deciduous Climbing Vine

NORTHPOINT PARKWAY



PROPOSED TREE IMAGERY



L1.0

LANDSCAPE
SITE
PLAN

DATE: 03-21-2023

SCALE: 1" = 30'-0"

DRAWN: DJG

REVISIONS

NEW WAREHOUSE BUILDING

 NORTHPOINT PARKWAY AT
 THUNDERBOLT WAY

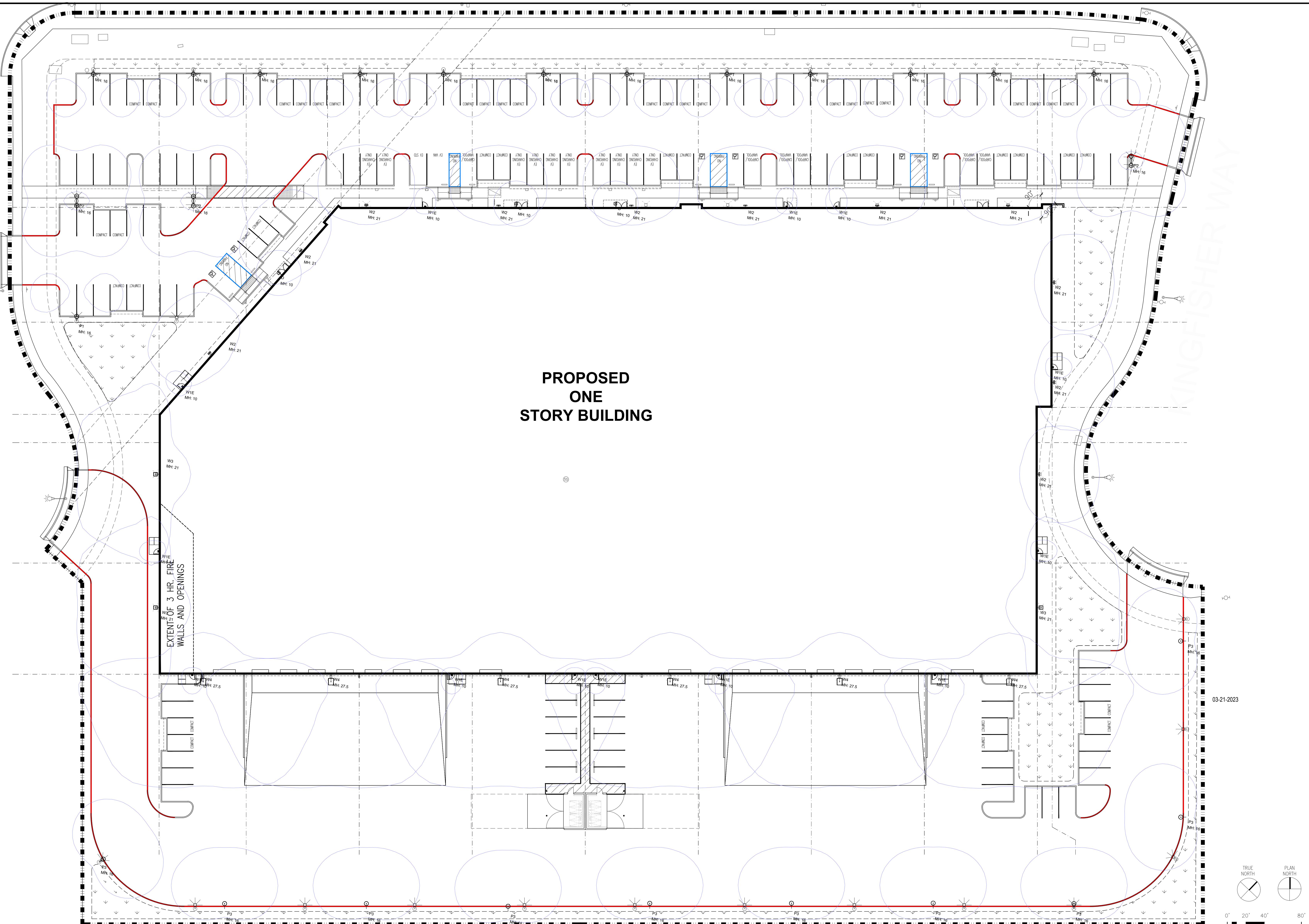
 SANTA ROSA, CALIFORNIA
 (insert formal name, address, city, state)

approved for the owner by:

approved for the architect by:

issue : description : date :

A ISSUED FOR REVIEW 03-21-2023

**PROPOSED
ONE
STORY BUILDING**


Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Total Watts	[MANUFAC]	BUG Rating
○	10	P3	Single	N.A.	0.900	TT-D5-740-U-T4-PM ON 16 FT POLE+ BASE	62.3	623	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	B2-U0-G3
□	3	D	Single	2352	0.900	SCP-S-20-LG-VS-4K	20.49	61.47	BARRON LIGHTING GROUP	N.A.
○	14	P1	SINGLE	N.A.	0.900	TT-D3-740-U-T4-PM ON 16 FT POLE+ BASE	48.8	683.2	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	B2-U0-G3
○	3	P2	BACK-BACK	N.A.	0.900	(2) TT-D3-740-U-T4-RM @ 180 DEGRESS ON 16 FT POLE+ BASE	48.8	292.8	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	B2-U0-G3
○	13	W1E	SINGLE	N.A.	0.900	131-0233 us MOUNTING HEIGHT 10 FT	16	208	WE-EE USA	N.A.
○	11	W2	SINGLE	7985.16	0.900	07049 MOUNTING HEIGHT 21 FT	80	880	Performance IN Lighting	B2-U0-G1
□	3	W3	SINGLE	N.A.	0.900	PRV-PA2A-740-U-T4W	112	336	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	B3-U0-G3
□	6	W4	SINGLE	N.A.	0.900	PRV-XL-PA3B-740-U-T4W	234	1404	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	B3-U0-G5

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
EAST DOCK	Illuminance	Fc	3.2	4.1	2.4	1.3
NORTH POINT PKG	Illuminance	Fc	1.9	5.3	1.0	1.9
NORTH SIDE PEDESTRIAN	Illuminance	Fc	3.3	12.5	1.0	3.3
SOUTH WEST TRUCK DRIVEWAY	Illuminance	Fc	2.3	6.5	1.0	2.3
WEST DOCK	Illuminance	Fc	3.5	4.6	2.5	1.4

PRELIMINARY LIGHTING SITE PLAN

SCALE: 1" = 20'-0"

1

LIGTHING NOTES:

 POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)
 BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"
 BUILDING LIGHTS MOUNTING HEIGHT IS 21'-0"
 BUILDING ABOVE DOORS EMERGENCY LIGHTS TYPE W1E MOUNTING HEIGHT IS 10 FT
 ALL LIGHTS ARE FULL CUT-OFF

 scale : AS NOTED
 project number : 2204025.00

sheet no. :

PH01.0

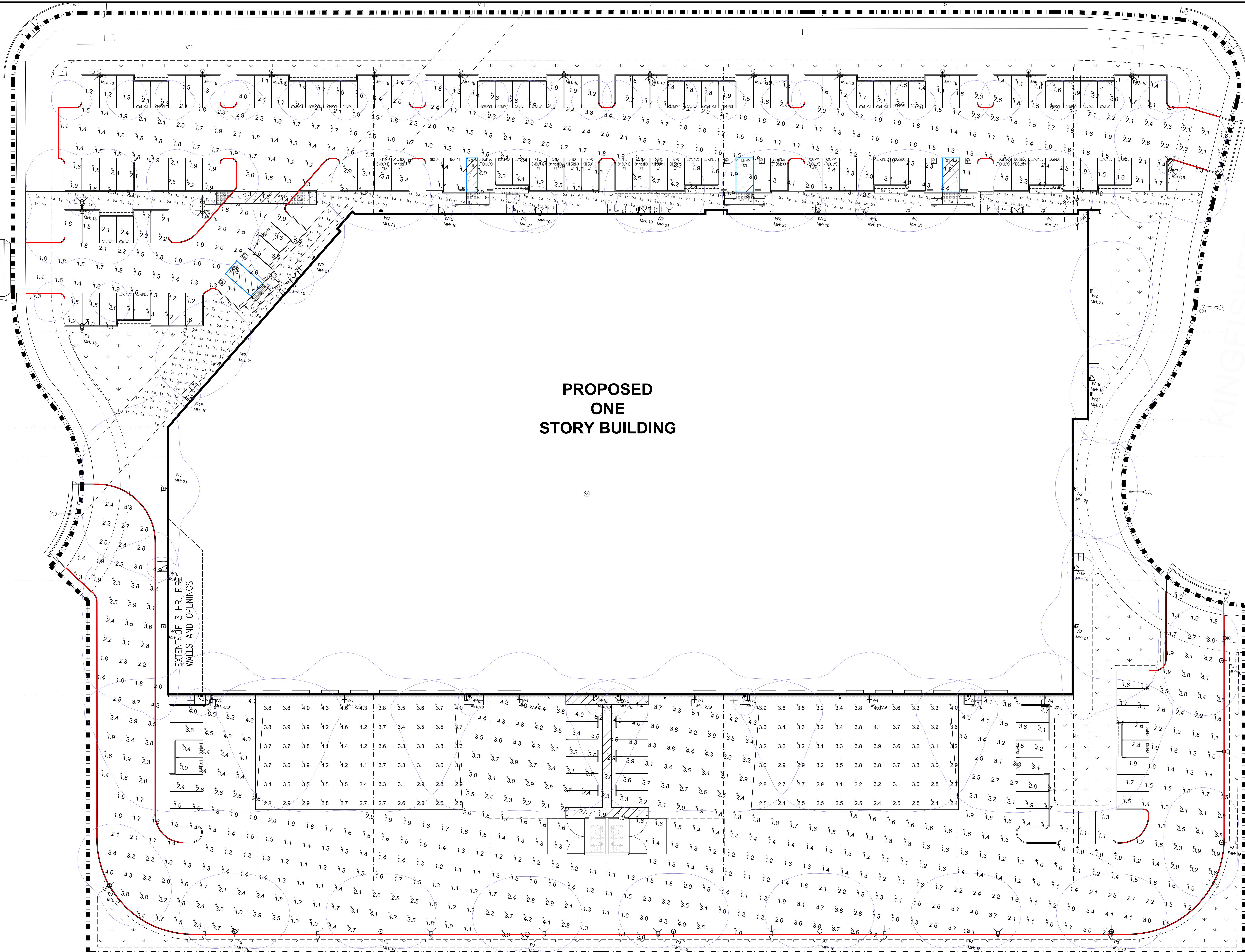
NEW WAREHOUSE
BUILDINGNORTHPOINT PARKWAY AT
THUNDERBOLT WAYSANTA ROSA, CALIFORNIA
(insert formal name, address, city, state)

approved for the owner by:

approved for the architect by:

issue : description : date :

A ISSUED FOR REVIEW 03-21-2023

PROPOSED
ONE
STORY BUILDING

Luminaire Schedule					Lum. Watts					Total Watts		[MANUFAC]		BUG Rating		
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description										
○	10	P3	Single	N.A.	0.900	TT-DS-740-U-T4-PM ON 16 FT POLE+ BASE	62.3	623	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	B2-U0-G3						
□	3	D	Single	2352	0.900	SCP-S-20-G-VS-4K	20.49	61.47	BARRON LIGHTING GROUP	N.A.						
○	14	P1	SINGLE	N.A.	0.900	TT-DS-740-U-T4-PM ON 16 FT POLE+ BASE	48.8	683.2	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	B2-U0-G3						
○	3	P2	BACK-BACK	N.A.	0.900	(2) TT-DS-740-U-T4-PM @ 180 DEGREES ON 16 FT POLE+ BASE	48.8	292.8	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	B2-U0-G3						
■	13	W1E	SINGLE	N.A.	0.900	131-0233 us MOUNTING HEIGHT 10 FT	16	208	WE-EF USA	N.A.						
■	11	W2	SINGLE	7985.16	0.900	070449 MOUNTING HEIGHT 21 FT	80	880	Performance IN Lighting	B2-U0-G1						
■	3	W3	SINGLE	N.A.	0.900	PRV-XL-PA3A-740-U-T4W	112	336	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	B3-U0-G3						
■	6	W4	SINGLE	N.A.	0.900	PRV-XL-PA3B-740-U-T4W	234	1404	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	B3-U0-G5						

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EAST DOCK	Illuminance	fc	3.2	4.1	2.4	1.3	1.7
NORTH POINT PKG	Illuminance	fc	1.9	5.3	1.0	1.9	5.3
NORTH SIDE PEDESTRIAN	Illuminance	fc	3.3	12.5	1.0	3.3	12.5
SOUTH WEST TRUCK DRIVEWAY	Illuminance	fc	2.3	6.5	1.0	2.3	6.5
WEST DOCK	Illuminance	fc	3.5	4.6	2.5	1.4	1.8

LIGTHING NOTES:
 POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)
 BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"
 BUILDING LIGHTS MOUNTING HEIGHT IS 21'-0"
 BUILDING ABOVE DOORS EMERGENCY LIGHTS TYPE W1E MOUNTING HEIGHT IS 10 FT
 ALL LIGHTS ARE FULL CUT-OFF

PRELIMINARY PHOTOMETRIC OVERALL LIGHTING SITE PLAN
 SCALE: 1" = 20'-0"

1

scale : AS NOTED
 project number : 2204025.00

sheet no. : PH01.1

PH01.1

