



**FIRSTNET/AT&T SITE ID:** CCL02094  
**FIRSTNET/AT&T SITE NAME:** NORTHPOINT  
**FA LOCATION CODE:** 10547968  
**USID:** 325581  
**PACE ID:** MRSFR002840

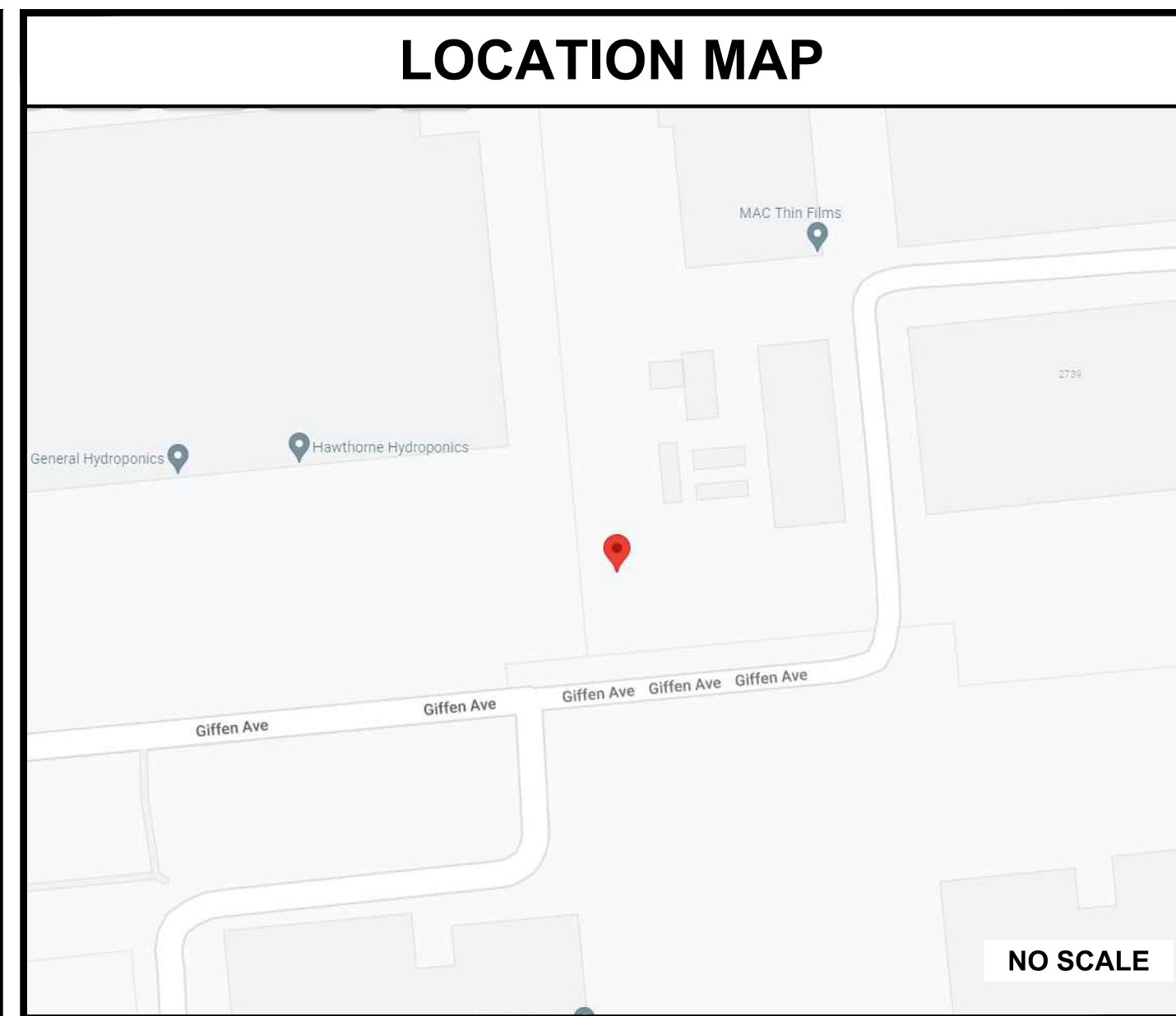
**PSTC SITE #:** CANC-SROSA01  
**SITE ADDRESS:** 2715 GIFFEN AVE  
 SANTA ROSA, CA 95407  
**COUNTY:** SONOMA  
**SITE TYPE:** MONOPINE  
**TOWER HEIGHT:** 80'-0"



SITE INFORMATION	
PSTC SITE NAME:	NORTHPOINT
SITE ADDRESS:	2715 GIFFEN AVE SANTA ROSA, CA 95407
COUNTY:	SONOMA
MAP/PARCEL #:	010-450-008
AREA OF CONSTRUCTION:	2,640 SQ FT
LATITUDE:	N 38° 25' 03.16" (38.417544°) [NAD83]
LONGITUDE:	W 122° 45' 01.67" (-122.750464°) [NAD83]
GROUND ELEVATION:	109.0' [NAVD88]
CURRENT ZONING:	IL
JURISDICTION:	SONOMA COUNTY
OCCUPANCY CLASSIFICATION:	U
TYPE OF CONSTRUCTION:	VB
A.D.A. COMPLIANCE:	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
PROPERTY OWNER:	GIFFEN AVENUE PROPERTY LLC 1206 4TH ST SANTA ROSA, CA 95404
TOWER OWNER:	PUBLIC SAFETY TOWERS, LLC 1903 WRIGHT PLACE, SUITE 140 CARLSBAD, CA 92008
CARRIER/APPLICANT:	AT&T 5005 EXECUTIVE PKWY SAN RAMON, CA 94583
ELECTRIC PROVIDER:	PG&E
TELCO PROVIDER:	TBD

DRAWING INDEX		
SHEET #	SHEET DESCRIPTION	REV
T-1	TITLE SHEET	J
GN-1	GENERAL NOTES	J
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LS-2	SITE SURVEY	1
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LS-4	NOTES	1
C-1.1	SITE PLAN	J
C-1.2	COMPOUND LAYOUT	J
C-2.1	FINAL SOUTH ELEVATION	J
C-2.2	FINAL NORTH ELEVATION	J
C-2.3	FINAL EAST ELEVATION	J
C-2.4	FINAL WEST ELEVATION	J
C-3	FINAL ANTENNA LAYOUT & SCHEDULE	J
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ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 24x36. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



APPROVALS	
AT&T (RF):	_____
DATE:	_____
AT&T OPERATIONS:	_____
DATE:	_____
SITE ACQUISITION:	_____
DATE:	_____
CONSTRUCTION MANAGER:	_____
DATE:	_____
PROPERTY OWNER:	_____
DATE:	_____
ZONING:	_____
DATE:	_____
PROJECT MANAGER:	_____
DATE:	_____

**AT&T/FIRSTNET ID: CCL02094**  
**NORTHPOINT**  
**PSTC #: CANC-SROSA01**  
**GIFFEN AVENUE PROPERTY**  
**2715 GIFFEN AVE**  
**SANTA ROSA, CA 95407**  
**(SONOMA COUNTY)**  
**PROPOSED 80'-0"**  
**MONOPINE TOWER**

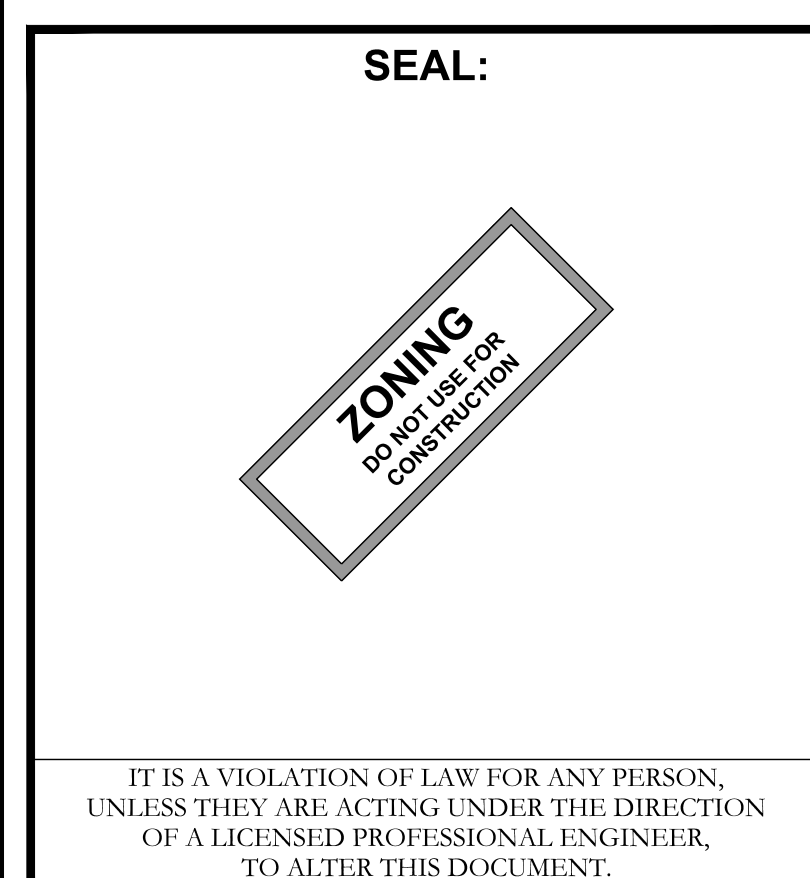
ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	SKK	ZONING	HMM

PROJECT TEAM	
PUBLIC SAFETY TOWERS, LLC CONTACT:	1903 WRIGHT PLACE, SUITE 140 CARLSBAD, CA 92008 TANYA AVENA T.AVENA@PSTCTOWERS.COM (661) 755-1471
TEP PROJECT TEAM:	TOWER ENGINEERING PROFESSIONALS 4710 E ELWOOD ST, STE 9 PHOENIX, AZ 85040
SITE ACQUISITION CONTACT:	DEREK WAITE DWAITE@TEPGROUP.NET (231) 409-5439
CIVIL ENGINEER:	ANDREW T. HALDANE, PE AHALDANE@TEPGROUP.NET (919) 661-6351
ELECTRICAL ENGINEER:	MARK QUAKENBUSH, PE MQUAKENBUSH@TEPGROUP.NET (919) 661-6351
AT&T PROJECT TEAM:	
RF ENGINEER:	AHMAD WAQAS AW564W@ATT.COM

PROJECT DESCRIPTION	
THE PURPOSE OF THIS PROJECT IS TO ENHANCE BROADBAND CONNECTIVITY AND CAPACITY IN THE AREA FOR EMERGENCY SERVICE AND WIRELESS CUSTOMERS.	
TOWER SCOPE OF WORK	
<ul style="list-style-type: none"> <li>INSTALL 80'-0" MONOPINE TOWER</li> <li>INSTALL (12) ANTENNAS ON (9) MOUNT PIPES</li> <li>INSTALL (18) RADIOS</li> <li>INSTALL (3) DC9 FIBER SQUIDS</li> <li>INSTALL (9) DC POWER TRUNKS</li> <li>INSTALL (3) FIBER TRUNKS</li> <li>INSTALL (3) SECTOR MOUNTS</li> </ul>	
GROUND SCOPE OF WORK	
<ul style="list-style-type: none"> <li>INSTALL 23'-0"x98'-0"x6'-0" (LxWxH) CMU WALL COMPOUND</li> <li>INSTALL GRAVEL DRIVEWAY</li> <li>INSTALL (1) 600A GUTTER AND 200A METER ON PROPOSED H-FRAME</li> <li>INSTALL (1) EQUIPMENT PLATFORM</li> <li>INSTALL (1) 17'-7"x10'-4" CONCRETE PAD</li> <li>INSTALL (1) WALK-UP-CABINET (WUC)</li> <li>INSTALL (1) 30 KW DIESEL GENERATOR</li> <li>INSTALL (1) ICE BRIDGE</li> <li>INSTALL (8) BATTERIES</li> <li>INSTALL (1) RAYCAP DC50 SURGE SUPPRESSION CABINET</li> <li>INSTALL (1) PTLN W/CAMLOCK AND INTEGRATED ATS</li> </ul>	

**DIRECTIONS FROM 5005 EXECUTIVE PARKWAY, SAN RAMON, CA:**  
 HEAD WEST AND TURN RIGHT ONTO EXECUTIVE PARKWAY. MAKE A LEFT ONTO CAMINO RAMON, THEN A LEFT ONTO CROW CANYON ROAD. MERGE ONTO I-680 N TO SACRAMENTO. CONTINUE ON I-680 N AND TAKE EXIT 58A FOR I-780 TOWARD BENICIA/VALLEJO. CONTINUE ON I-780 W THEN TAKE EXIT 1B TOWARD SACRAMENTO. MERGE ONTO I-80 E THEN TAKE EXIT 33 FOR CA-37 TOWARD NAPA. CONTINUE ON CA-37 W THEN TURN RIGHT ONTO LAKEVILLE HIGHWAY. TURN RIGHT TO MERGE ONTO US-101 N TOWARD EUREKA. TAKE EXIT 487 TOWARD YOLANDA AVE/HEARN AVE. TAKE HEARN AVE, THEN TURN RIGHT ONTO STONY POINT ROAD. TURN LEFT ONTO NORTHPOINT PARKWAY. TURN RIGHT ONTO LOMBARDI LANE. TURN LEFT.

APPLICABLE CODES/REFERENCE DOCUMENTS	
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:	
CODE TYPE	CODE
BUILDING	2023 CBC (2021 IBC)
MECHANICAL	2023 CMC (2021 UMC)
ELECTRICAL	2023 CEC (2020 NEC)
STRUCTURAL	EIA/TIA-222-H
REFERENCE DOCUMENTS:	
RFDS VERSION:	1.00
DATED:	12/21/2022
<b>CALL CALIFORNIA ONE CALL</b> <b>(800) 227-2600</b> <b>CALL 3 WORKING DAYS</b> <b>BEFORE YOU DIG!</b>	



SHEET TITLE:	
<b>TITLE SHEET</b>	
SHEET NUMBER:	REVISION:
<b>T-1</b>	<b>K</b>
TEP #:	
314201.336187	

# PROJECT NOTES:

- ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED PUBLIC SAFETY TOWERS, LLC OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING TO HAVE SUFFICIENT EXPERIENCE AND ABILITY, IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE THE TOWER IS LOCATED.
- THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH ANSI/TIA-222-H AND CONFORM TO THE REQUIREMENTS OF THE 2022 CALIFORNIA BUILDING CODE.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTION SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OF CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTIONS OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK. RENTAL CHARGES, SAFETY, PROTECTION, AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE OWNER PROJECT MANAGER. THIS INCLUDES ALL SPECIFIC MILITARY INSTALLATION INSTRUCTIONS INCLUDING STAFF ACCESS AND GATE SPECIFIC INSTRUCTIONS.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/OWNER. CONTRACTOR/OWNER SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER AS WELL AS ANY REQUIRED NOTICES SPECIFIC TO THE MILITARY INSTITUTION.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIALS SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

- ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH OWNER SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO OWNER PRIOR TO THE START OF THE WORK ON THE PROJECT.
- THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO THE SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL FURNISH ONE 55 GALLON BARREL OR EQUIVALENT, AND TRASH BAGS, AND SHALL REMOVE TRASH, DEBRIS, ETC., ON A DAILY BASIS.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING THE PROPOSAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PROJECT ENGINEER FOR FACILITIES/CONSTRUCTION.
- THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- THE CONTRACTOR SHALL PROVIDE DAILY UPDATES IN THE FORM OF WRITTEN NOTIFICATION VIA EMAIL OR APP PHOTOS TO THE BOINGO CONSTRUCTION MANAGER.

# UTILITY NOTES:

- APPLY FOR THE UTILITY SERVICE (ELECTRIC) NO LATER THAN THE NEXT BUSINESS DAY FOLLOWING AWARD OF CONTRACT. COORDINATE WITH THE ELECTRIC UTILITY COMPANY FOR EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND THE SERVICE ROUTING. COORDINATE WITH THE TELEPHONE UTILITY COMPANY FOR EXACT TELEPHONE REQUIREMENTS AND ROUTING OF SERVICE.
- ALL UTILITY RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE UTILITY REQUIREMENTS. FIELD TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT UTILITIES AND LOCATOR SERVICE A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE TRENCHING AND CONDUITS AS SHOWN OR AS REQUIRED BY LOCAL UTILITY.
- NO PENETRATIONS TO THE TOWER FOUNDATION OF ANY KIND.



**PUBLIC SAFETY TOWERS**  
COMPANY

1903 WRIGHT PLACE, SUITE 140  
CARLSBAD, CA 92008



**AT&T**

5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583



**TOWER ENGINEERING PROFESSIONALS**  
4710 E ELWOOD ST, STE 9  
PHOENIX, AZ 85040  
OFFICE: (480) 285-0036  
www.tepgroup.net

**AT&T/FIRSTNET ID: CCL02094  
NORTHPOINT**


**PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)**

**PROPOSED 80'-0"  
MONOPINE TOWER**

ISSUED FOR:				
REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	SKK	ZONING	HMM

**SEAL:**



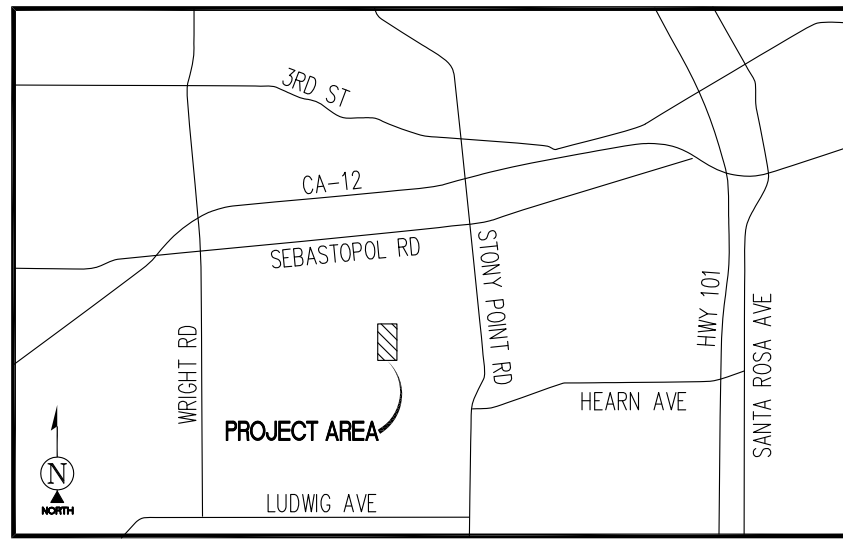
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

**SHEET TITLE:**

**GENERAL NOTES**

<b>SHEET NUMBER:</b>	<b>REVISION:</b>
<b>GN-1</b>	<b>K</b>

**TEP #:** 314201.336187



VICINITY MAP  
N.T.S.

SURVEY DATE  
10/05/2022

**BASIS OF BEARING**

BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA ZONE 2 STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983(2011) (EPOCH 2019.25). DETERMINED BY GLOBAL POSITIONING SYSTEM EQUIPMENT ON THE SMARTNET REFERENCE NETWORK.

**BENCHMARK**

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

**GRID-TO-GROUND SCALE FACTOR NOTE**

ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA TWO STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99998248

**FLOOD ZONE**

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06097C07176, DATED 07/19/2022

**UTILITY NOTES**

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**SURVEYOR'S NOTES**

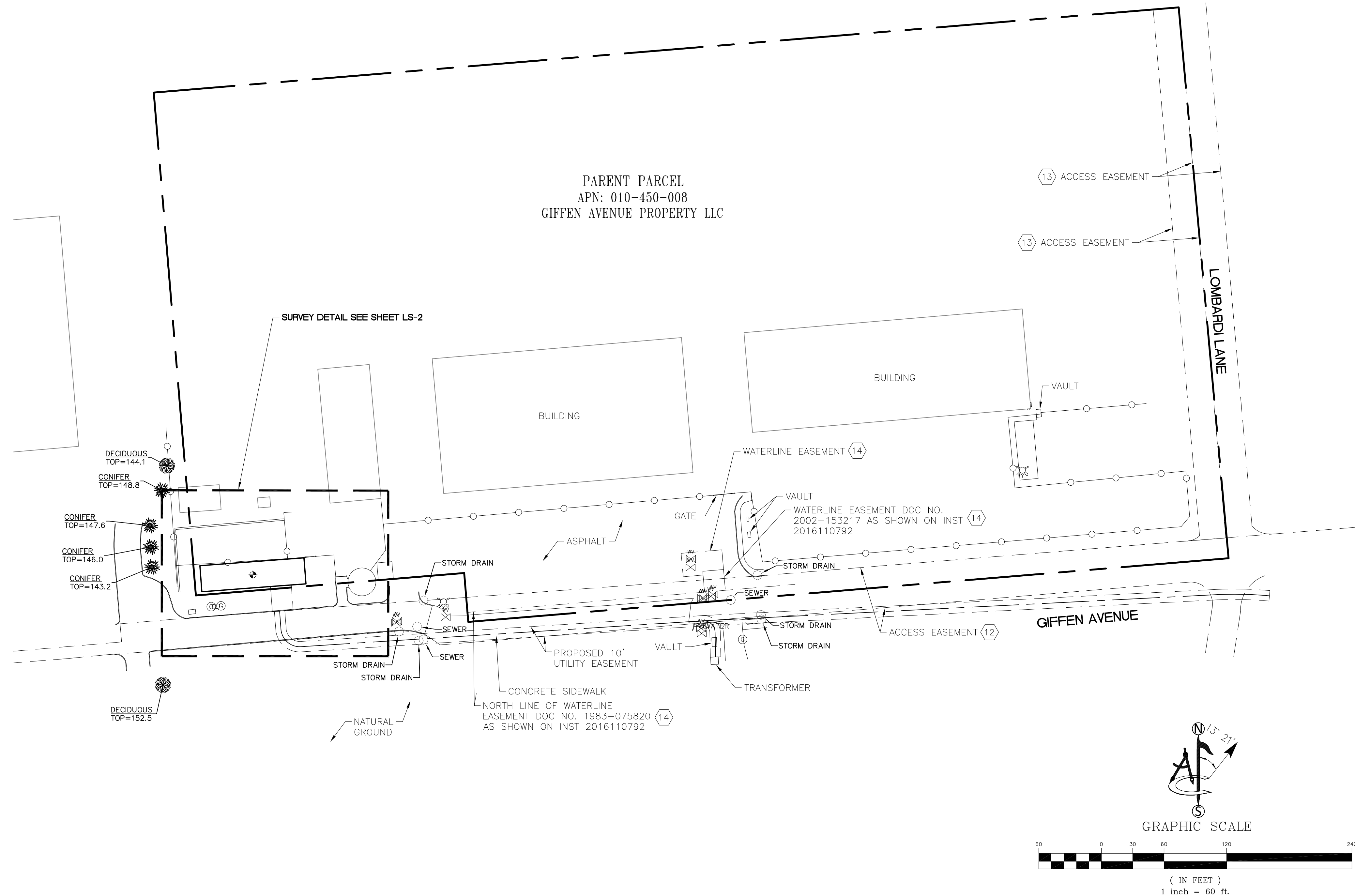
CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS AND FOLLOW THE CURRENT NATIONAL MAP STANDARDS FOR VERTICAL ACCURACY.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

LEGEND			
AP	ASPHALT	○	UTILITY MANHOLES
BLDG	TOP OF BUILDING	○ <sup>MAX</sup>	UTILITY METER
CLF	CHAIN LINK FENCE	⊗	FIRE HYDRANT
NG	NATURAL GRADE	⊗	POSITION OF GEODETIC COORDINATES
●	TREES	⊗	SPOT ELEVATION
●	PINE TREES	⊗	WATER CONTROL VALVE
P.O.B.	POINT OF BEGINNING	⊗	GAS VALVE
P.O.C.	POINT OF COMMENCEMENT	⊗	CHAIN LINK FENCE
P.O.T.	POINT OF TERMINUS	⊗	CURBLINES
		---	SUBJECT PROPERTY LINE
		---	ADJACENT PROPERTY LINE
		---	EASEMENT LINES
		---	EASEMENT CENTERLINE
		---	LEASE AREA LIMITS
		---	MAJOR CONTOUR INTERVAL
		---	MINOR CONTOUR INTERVAL



PROJECT INFORMATION:  
**CCU02094**  
**SW SANTA ROSA CORPORATE CENTER PKWY & ROSELAND**  
 2715 GRIFFEN AVENUE  
 SANTA ROSA, CA 95404  
 SONOMA COUNTY

ORIGINAL ISSUE DATE:  
**10/07/2022**

REV.:	DATE:	DESCRIPTION:	BY:
A	10/07/22	PRELIMINARY	CK
0	01/04/23	DESIGN(C)	SM

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 (919) 661-6351

CONSULTANT:

**ambit consulting**  
 428 MAIN STREET  
 SUITE 206  
 HUNTINGTON BEACH, CA 92648  
 PH. (480) 659-4072  
 www.ambitconsulting.us

DRAWN BY: \_\_\_\_\_ CHK.: \_\_\_\_\_ APV.: \_\_\_\_\_

CK	MF	PD
----	----	----

LICENSER:

**PRELIMINARY**  
 PATRICK B. DONOHOE  
 P.L.S. NO. 9332

SHEET TITLE:  
**SITE SURVEY**

SHEET NUMBER:  
**LS-1**

POSITION OF GEODETIC COORDINATES  
 LATITUDE 38° 25' 03.16" (38.417544) NORTH (NAD83)  
 LONGITUDE 122° 45' 01.67" (122.750464) WEST (NAD83)  
 GROUND ELEVATION @ 109.0' (NAVD88)

LEGEND			
AP	ASPHALT	○	UTILITY MANHOLES
BLDG	TOP OF BUILDING	○	UTILITY METER
CLF	CHAIN LINK FENCE	⊕	FIRE HYDRANT
NG	NATURAL GRADE	⊕	POSITION OF GEODETIC COORDINATES
⊗	TREES	⊕	SPOT ELEVATION
⊗	PINE TREES	⊕	WATER CONTROL VALVE
P.O.B.	POINT OF BEGINNING	⊕	GAS VALVE
P.O.C.	POINT OF COMMENCEMENT	⊕	
P.O.T.	POINT OF TERMINUS	⊕	
—○—○—○—○—○—○—	CHAIN LINK FENCE		
—	CURBLINES		
—	SUBJECT PROPERTY LINE		
—	ADJACENT PROPERTY LINE		
---	EASEMENT LINES		
---	EASEMENT CENTERLINE		
---	LEASE AREA LIMITS		
---	MAJOR CONTOUR INTERVAL		
---	MINOR CONTOUR INTERVAL		

**LEASE AREA LEGAL DESCRIPTION**

A PORTION OF THE LAND OF OPTICAL COATING LABORATORY, INC., A CORPORATION, AS DESCRIBED AS PARCEL ONE IN THE DEED RECORDED JANUARY 11, 1973 IN BOOK 2727 OF OFFICIAL RECORDS AT PAGE 51 IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIPE STAMPED RCE 31909 AT THE SOUTHWEST CORNER OF SAID PARCEL, FROM WHICH AN IRON PIPE STAMPED RCE 31909 BEARS THE FOLLOWING TWO COURSES:

THENCE NORTH 85°12'34" EAST, 257.92 FEET; THENCE SOUTH 04°47'26" EAST, 47.06 FEET AS SHOWN ON RECORD SURVEY RECORDED IN BOOK 814, PAGE 39, RECORDS OF SAID SONOMA COUNTY;

THENCE LEAVING SAID POINT OF COMMENCEMENT, NORTH 85°12'34" EAST, 71.87 FEET; THENCE NORTH 04°20'27" WEST, 2.56 FEET TO THE POINT OF BEGINNING.

THENCE SOUTH 85°40'47" WEST, 65.91 FEET; THENCE NORTH 04°19'13" WEST, 25.00 FEET; THENCE NORTH 85°40'47" EAST, 100.00 FEET; THENCE SOUTH 04°19'13" EAST, 25.00 FEET; THENCE SOUTH 85°40'47" WEST, 34.09 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,500 SQUARE FEET (0.057 ACRES) OF LAND, MORE OR LESS.

**ACCESS AND UTILITY**

**EASEMENT LEGAL DESCRIPTION**

A PORTION OF THE LAND OF OPTICAL COATING LABORATORY, INC., A CORPORATION, AS DESCRIBED AS PARCEL ONE IN THE DEED RECORDED JANUARY 11, 1973 IN BOOK 2727 OF OFFICIAL RECORDS AT PAGE 51 AND A PORTION OF LOT 1 OF THE LANDS OF PATRIOT NORTHPOINT II REFI LLC AS SHOWN ON RECORD SURVEY RECORDED IN BOOK 814 PAGE 39, IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

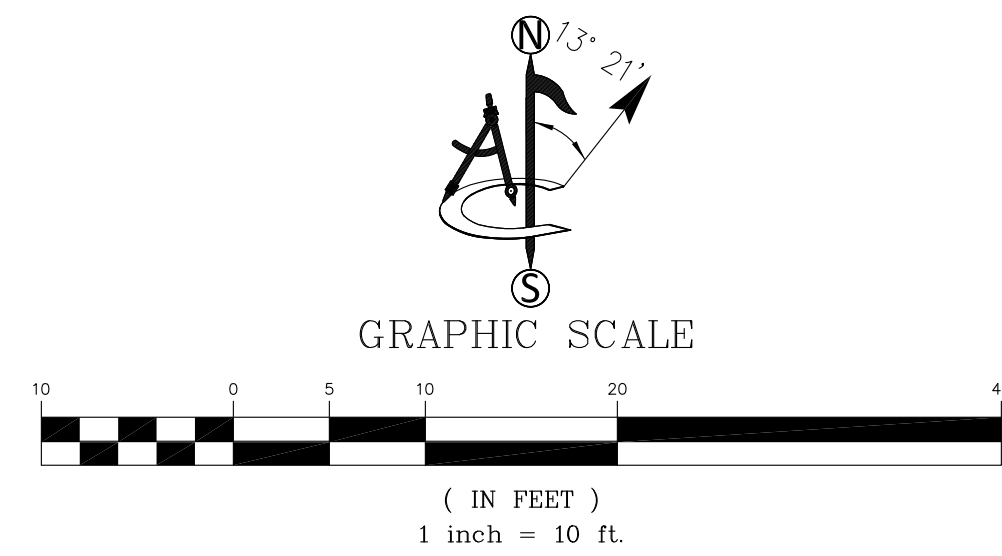
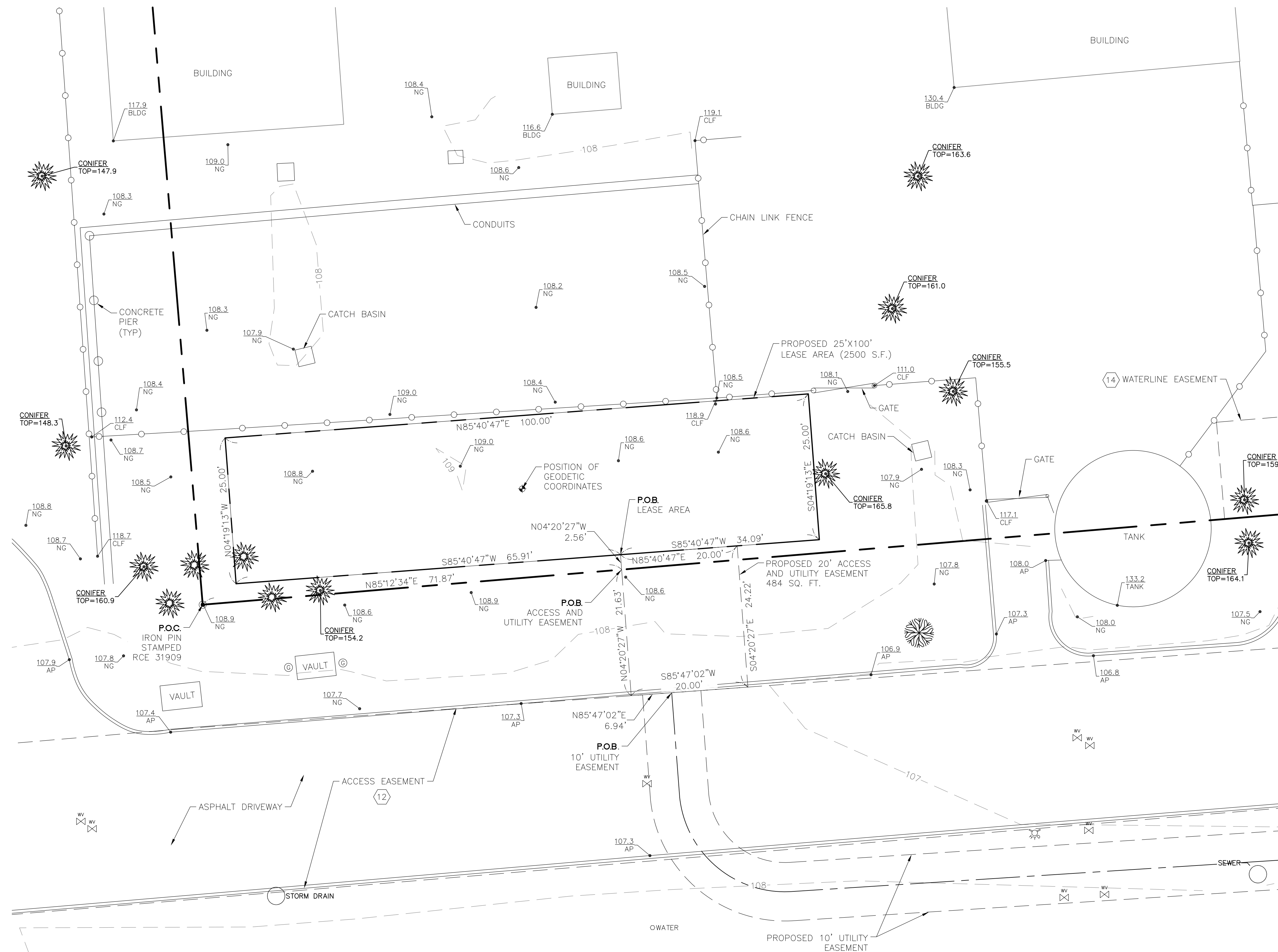
COMMENCING AT AN IRON PIPE STAMPED RCE 31909 AT THE SOUTHWEST CORNER OF SAID PARCEL, FROM WHICH AN IRON PIPE STAMPED RCE 31909 BEARS THE FOLLOWING TWO COURSES:

THENCE NORTH 85°12'34" EAST, 257.92 FEET; THENCE SOUTH 04°47'26" EAST, 47.06 FEET AS SHOWN ON SAID RECORD SURVEY RECORDED IN BOOK 814 PAGE 39, RECORDS OF SAID SONOMA COUNTY;

THENCE LEAVING SAID POINT OF COMMENCEMENT, NORTH 85°12'34" EAST, 71.87 FEET TO THE POINT OF BEGINNING.

THENCE NORTH 04°20'27" WEST, 2.56 FEET; THENCE NORTH 85°40'47" EAST, 20.00 FEET; THENCE SOUTH 04°20'27" EAST, 24.22 FEET; THENCE SOUTH 85°47'02" WEST, 20.00 FEET; THENCE NORTH 04°20'27" WEST, 21.63 FEET TO THE POINT OF BEGINNING.

CONTAINING 484 SQUARE FEET (0.011 ACRES) OF LAND, MORE OR LESS.



PROJECT INFORMATION:  
 CCU02094  
 SW SANTA ROSA CORPORATE  
 CENTER PKWY & ROSELAND  
 2715 GRIFFEN AVENUE  
 SANTA ROSA, CA 95404  
 SONOMA COUNTY

ORIGINAL ISSUE DATE:  
 10/07/2022

REV.:	DATE:	DESCRIPTION:	BY:
A	10/07/22	PRELIMINARY	CK
0	01/04/23	DESIGN(C)	SM

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 (919) 661-6351

CONSULTANT:  

 428 MAIN STREET  
 SUITE 206  
 HUNTINGTON BEACH, CA 92648  
 PH. (480) 659-4072  
 www.ambitconsulting.us

DRAWN BY: CK    CHK.: MF    APV.: PD

LICENSER:  

 PATRICK B. DONOHUE  
 P.L.S. NO. 9332

SHEET TITLE:  
 SITE SURVEY

SHEET NUMBER:  
 LS-2

**10' UTILITY EASEMENT LEGAL DESCRIPTION**

A PORTION OF LOT 1 OF THE LANDS OF PATRIOT NORTHPOINT II REFI LLC AS SHOWN ON RECORD SURVEY RECORDED IN BOOK 814 PAGE 39 IN THE CITY OF SANTA ROSA, COUNTY OF SONOMA, STATE OF CALIFORNIA, BEING A 10.00 FOOT WIDE STRIP OF LAND LYING 5.00 FEET ON BOTH SIDES OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT AN IRON PIPE STAMPED RCE 31909 AT THE SOUTHWEST CORNER OF SAID PARCEL, FROM WHICH AN IRON PIPE STAMPED RCE 31909 BEARS THE FOLLOWING TWO COURSES:  
 THENCE NORTH 85°12'34" EAST, 257.92 FEET; THENCE SOUTH 04°47'26" EAST, 47.06 FEET AS SHOWN ON SAID RECORD SURVEY RECORDED IN BOOK 814, PAGE 39, RECORDS OF SAID SONOMA COUNTY;

THENCE LEAVING SAID POINT OF COMMENCEMENT, NORTH 85°12'34" EAST, 71.87 FEET, THENCE SOUTH 04°20'27" EAST, 21.63 FEET; THENCE NORTH 85°47'02" EAST, 6.94 FEET TO THE POINT OF BEGINNING.

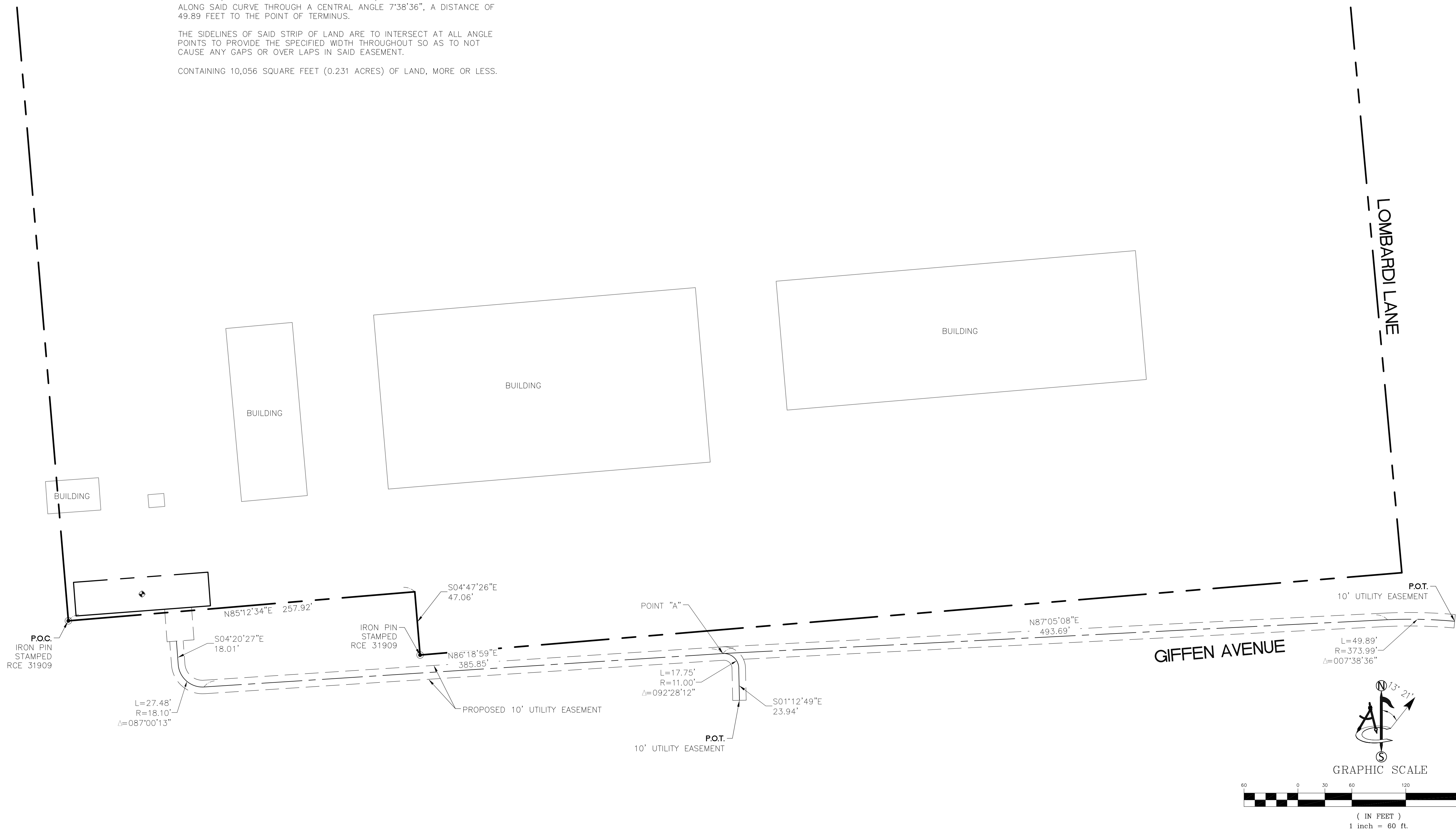
THENCE SOUTH 04°20'27" EAST, 18.01 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 18.10 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 87°00'13", A DISTANCE OF 27.48 FEET; THENCE NORTH 86°18'59" EAST, 385.85 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A" FOR PURPOSES OF THIS DESCRIPTION AND THE BEGINNING OF A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 11.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 92°28'12", A DISTANCE OF 17.75 FEET; THENCE SOUTH 01°12'49" EAST, 23.94 FEET TO THE POINT OF TERMINUS.

TOGETHER WITH:

COMMENCING AT THE ABOVE MENTIONED POINT "A"; THENCE NORTH 87°05'08" EAST, 493.69 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 373.99 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE 7°38'36", A DISTANCE OF 49.89 FEET TO THE POINT OF TERMINUS.

THE SIDELINES OF SAID STRIP OF LAND ARE TO INTERSECT AT ALL ANGLE POINTS TO PROVIDE THE SPECIFIED WIDTH THROUGHOUT SO AS TO NOT CAUSE ANY GAPS OR OVER LAPS IN SAID EASEMENT.

CONTAINING 10,056 SQUARE FEET (0.231 ACRES) OF LAND, MORE OR LESS.



PROJECT INFORMATION:  
**CCU02094**  
**SW SANTA ROSA CORPORATE CENTER PKWY & ROSELAND**  
 2715 GRIFFEN AVENUE  
 SANTA ROSA, CA 95404  
 SONOMA COUNTY

ORIGINAL ISSUE DATE:  
 10/07/2022

REV.:	DATE:	DESCRIPTION:	BY:
A	10/07/22	PRELIMINARY	CK
0	01/04/23	DESIGN(C)	SM

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603-3530  
 (919) 661-6351

CONSULTANT:  
**ambit consulting**  
 428 MAIN STREET  
 SUITE 206  
 HUNTINGTON BEACH, CA 92648  
 PH. (480) 659-4072  
 www.ambitconsulting.us

DRAWN BY:	CHK.:	APV.:
CK	MF	PD

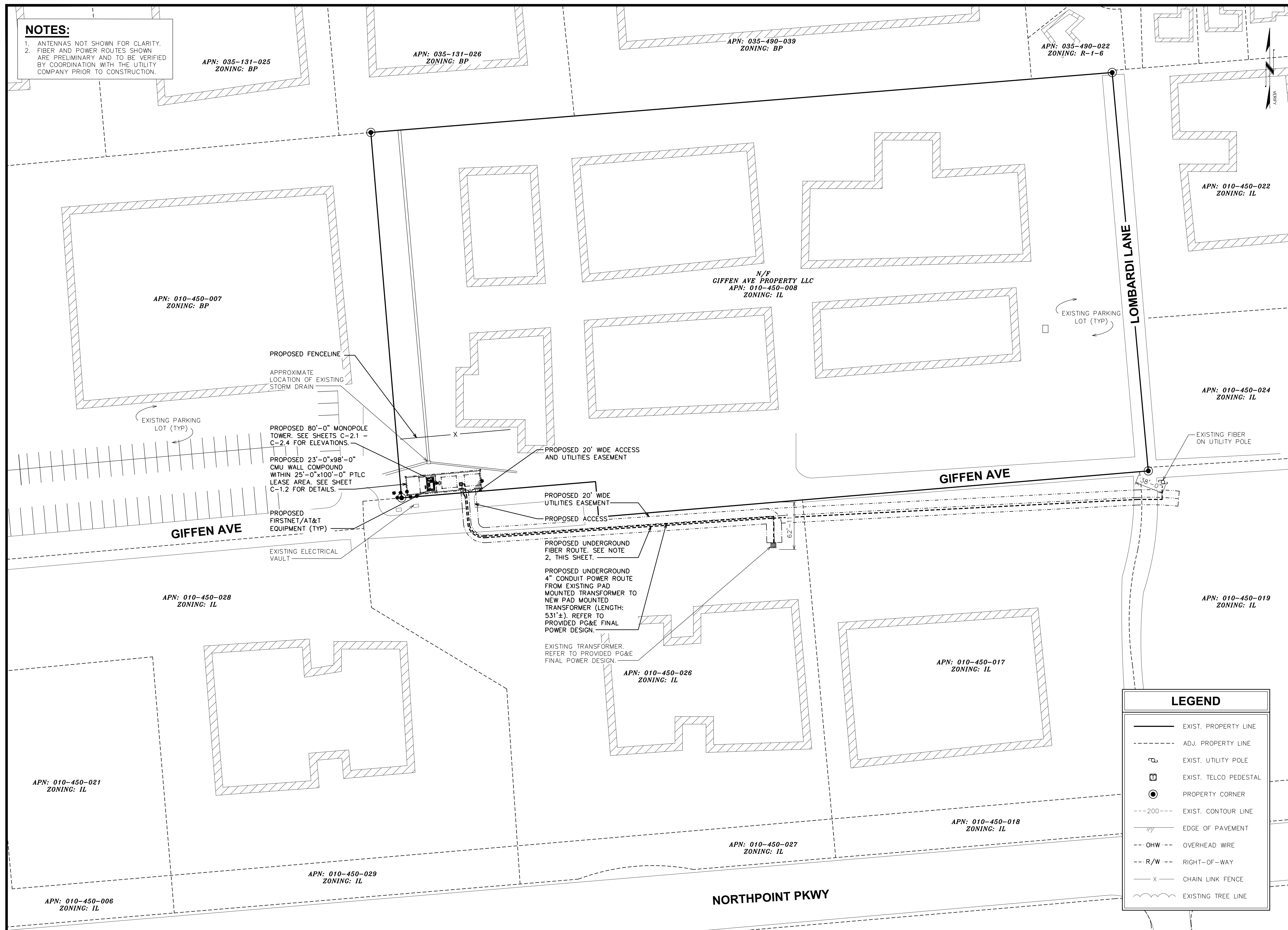
LICENSER:  
**PRELIMINARY**  
 PATRICK B. DONOHOE  
 P.L.S. NO. 9332

SHEET TITLE:  
 SITE SURVEY

SHEET NUMBER:  
 LS-3



**NOTES:**  
 1. ANTENNAS NOT SHOWN FOR CLARITY.  
 2. FIBER AND POWER ROUTES SHOWN ARE PRELIMINARY AND TO BE VERIFIED BY COORDINATION WITH THE UTILITY COMPANY PRIOR TO CONSTRUCTION.



**PUBLIC SAFETY TOWERS COMPANY**  
 1903 WRIGHT PLACE, SUITE 140  
 CARLSBAD, CA 92008

**AT&T**  
 5005 EXECUTIVE PARKWAY  
 SAN RAMON, CA 94583

**TOWER ENGINEERING PROFESSIONALS**  
 4710 E ELWOOD ST, STE 9  
 PHOENIX, AZ 85040  
 OFFICE: (480) 285-0036  
 www.tepgroup.net

**AT&T/FIRSTNET ID: CCL02094  
 NORTHPOINT**  
**PSTC #: CANC-SROSA01  
 GIFFEN AVENUE PROPERTY**  
**2715 GIFFEN AVE  
 SANTA ROSA, CA 95407  
 (SONOMA COUNTY)**  
**PROPOSED 80'-0"  
 MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	SKK	ZONING	HMM

**SEAL:**

**ZONING  
 DO NOT USE FOR  
 CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**SHEET TITLE:**  
**SITE PLAN**

**SHEET NUMBER:**  
**C-1.1**

**REVISION:**  
**K**

**TEP #:** 314201.336187

**LEGEND**

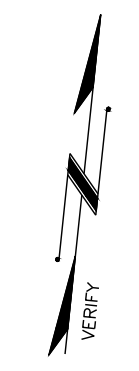
	EXIST. PROPERTY LINE
	ADJ. PROPERTY LINE
	EXIST. UTILITY POLE
	EXIST. TELCO PEDESTAL
	PROPERTY CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE

**1 EXISTING OVERALL SITE PLAN**

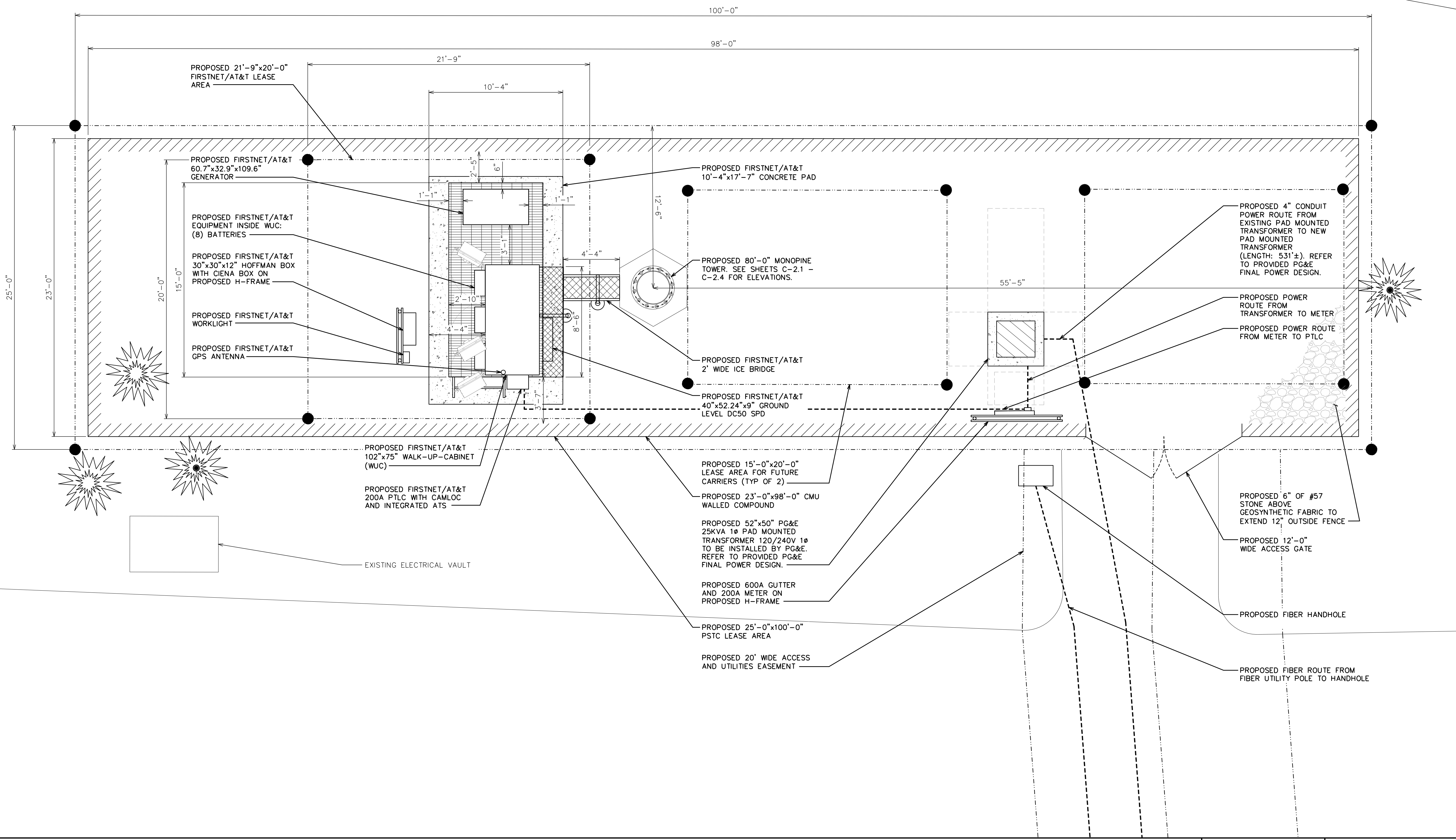
SCALE: 1" = 60' (24x36)  
 SCALE: 1" = 120' (11x17)  
 SCALE IN FEET

**NOTES:**

- CONTRACTOR TO VERIFY ALL EXISTING INFORMATION IS AS INDICATED ON SITE PLAN. CONTRACTOR IS TO ESTABLISH THE EXISTENCE AND LOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES. IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- CONTRACTOR TO ENSURE THAT ALL FIRSTNET/AT&T EQUIPMENT IS INSTALLED INSIDE FIRSTNET/AT&T'S LEASE AREA INCLUDING BUT NOT LIMITED TO, EQUIPMENT CABINETS, UTILITY CABINETS, H-FRAMES, ETC.
- ANTENNAS NOT SHOWN FOR CLARITY.



APPROXIMATE LOCATION OF EXISTING STORM DRAIN PATHWAY



1903 WRIGHT PLACE, SUITE 140  
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5005 EXECUTIVE PARKWAY  
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PHOENIX, AZ 85040  
OFFICE: (480) 285-0036  
www.tepgroup.net

**AT&T/FIRSTNET ID: CCL02094  
NORTHPOINT**

**PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)**

**PROPOSED 80'-0"  
MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	SKK	ZONING	HMM

**SEAL:**

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**SHEET TITLE:**  
**COMPOUND LAYOUT**

**SHEET NUMBER:** **C-1.2**      **REVISION:** **K**

**1 FINAL COMPOUND DETAIL**

SCALE: 1/4" = 1'-0" (24x36)  
SCALE: 3/8" = 1'-0" (11x17)

SCALE IN FEET

**TEP #:** 314201.336187



**NOTES:**

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT FIRSTNET/AT&T OR PSTC IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES.

- 85'-0"±  
T/APPERTENANCE
- 80'-0"±  
T/TOWER
- 78'-0"±  
C/FIRSTNET/AT&T ANTENNA
- 76'-0"±  
C/FIRSTNET/AT&T ANTENNA
- 74'-0"±  
C/FIRSTNET/AT&T ANTENNA

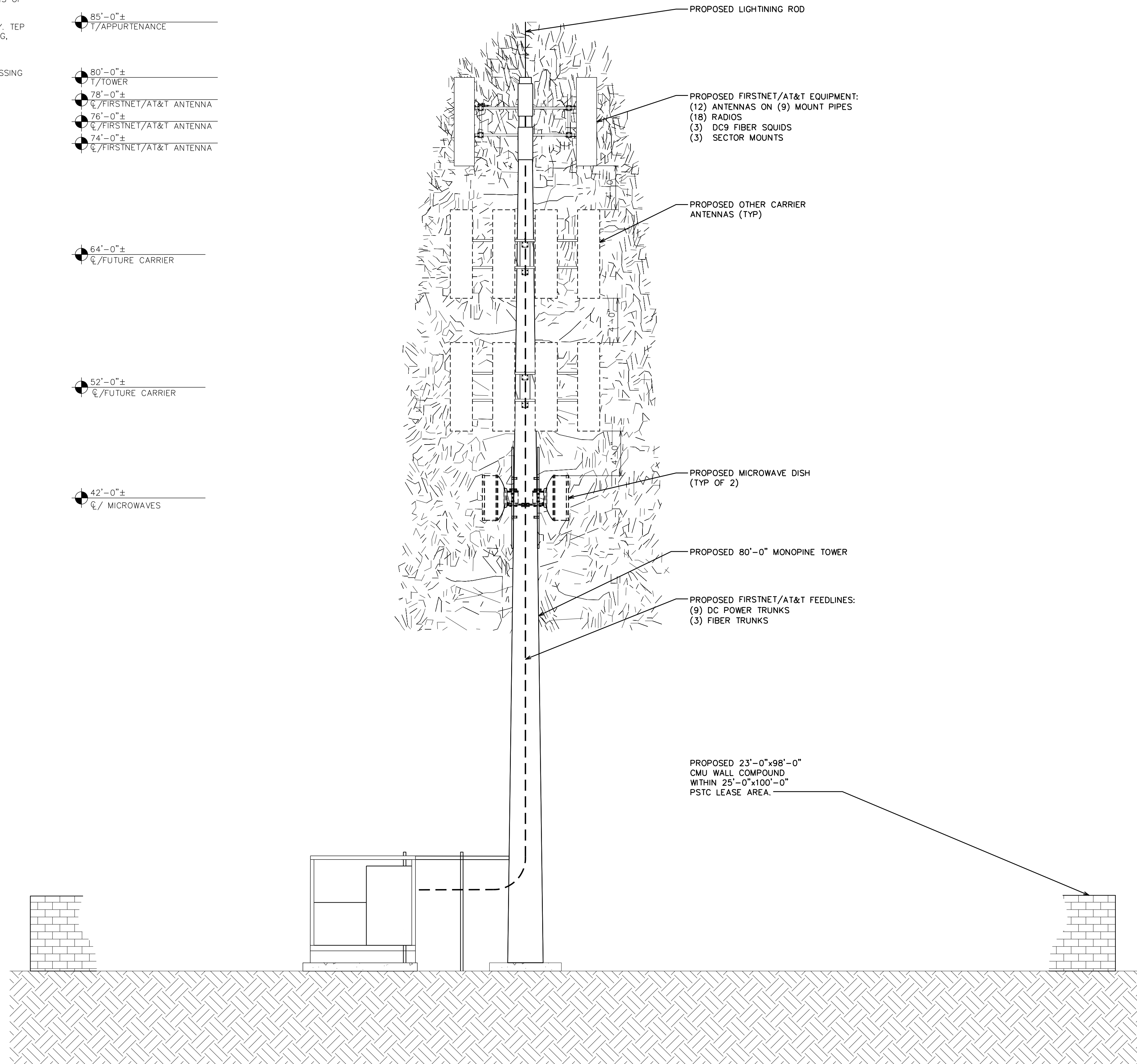
- 64'-0"±  
C/FUTURE CARRIER

- 52'-0"±  
C/FUTURE CARRIER

- 42'-0"±  
C/MICROWAVES

- 6'-0"  
T/CMU WALL

- 0'-0" (REF)  
T/CONCRETE



1903 WRIGHT PLACE, SUITE 140  
CARLSBAD, CA 92008

5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

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PHOENIX, AZ 85040  
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**AT&T/FIRSTNET ID: CCL02094  
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**PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
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**PROPOSED 80'-0"  
MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	BKK	ZONING	HMM

**SEAL:**

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**SHEET TITLE:**  
**FINAL SOUTH ELEVATION**

**SHEET NUMBER:** **C-2.1**      **REVISION:** **K**

**TEP #:** 314201.336187

**NOTES:**

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT FIRSTNET/AT&T OR PSTC IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES.

- 85'-0"±  
T/APPERTENANCE
- 80'-0"±  
T/TOWER
- 78'-0"±  
C/FIRSTNET/AT&T ANTENNA
- 76'-0"±  
C/FIRSTNET/AT&T ANTENNA
- 74'-0"±  
C/FIRSTNET/AT&T ANTENNA

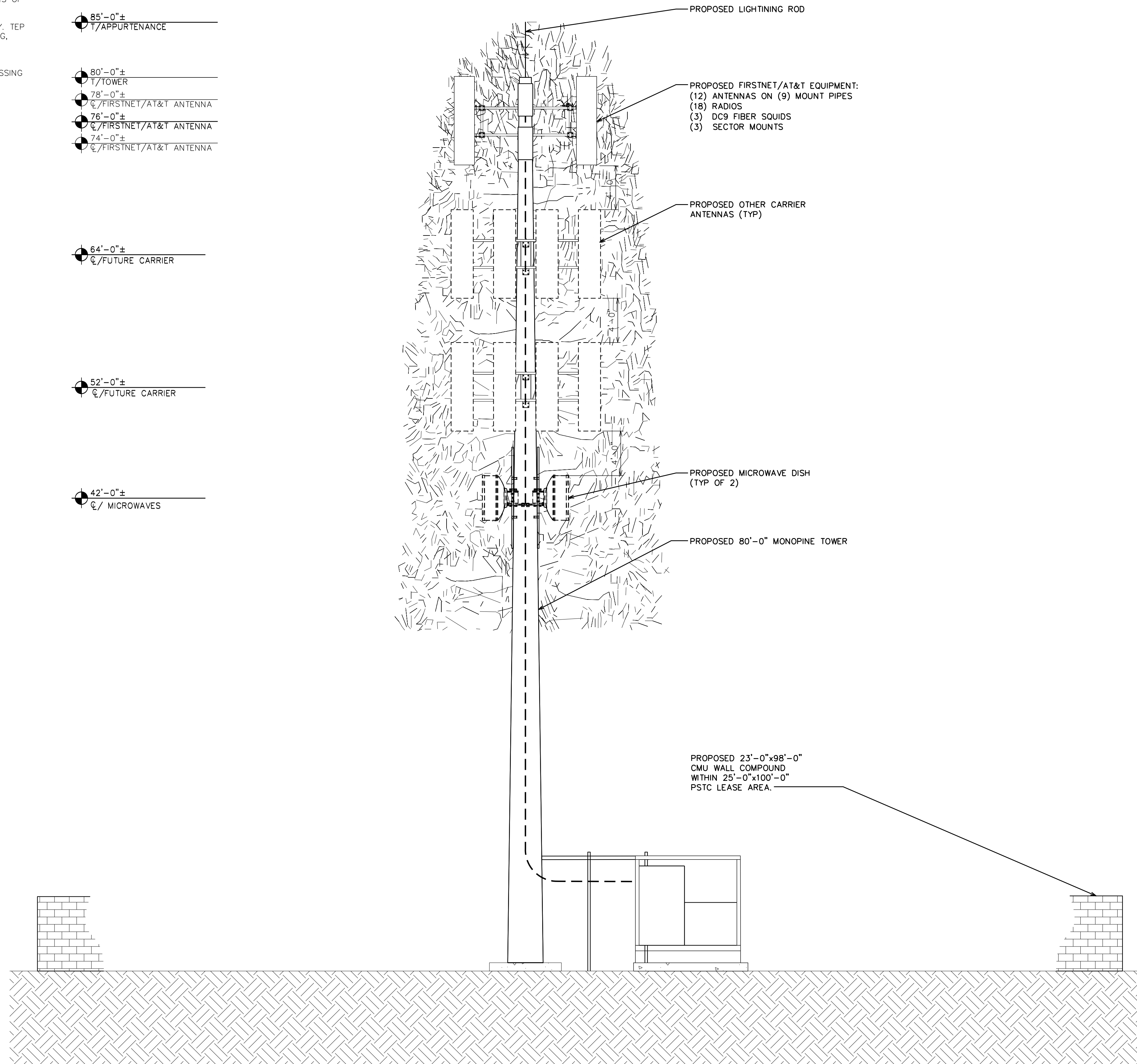
- 64'-0"±  
C/FUTURE CARRIER

- 52'-0"±  
C/FUTURE CARRIER

- 42'-0"±  
C/MICROWAVES

- 6'-0"  
T/CMU WALL

- 0'-0" (REF)  
T/CONCRETE



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NORTHPOINT**

**PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)**

**PROPOSED 80'-0"  
MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	BKK	ZONING	HMM

**SEAL:**

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**SHEET TITLE:  
FINAL NORTH  
ELEVATION**

**SHEET NUMBER: C-2.2**      **REVISION: K**

**TEP #: 314201.336187**

**NOTES:**

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT FIRSTNET/AT&T OR PSTC IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES.

85'-0"±  
T/APPERTENANCE

80'-0"±  
T/TOWER

78'-0"±  
C/FIRSTNET/AT&T ANTENNA

76'-0"±  
C/FIRSTNET/AT&T ANTENNA

74'-0"±  
C/FIRSTNET/AT&T ANTENNA

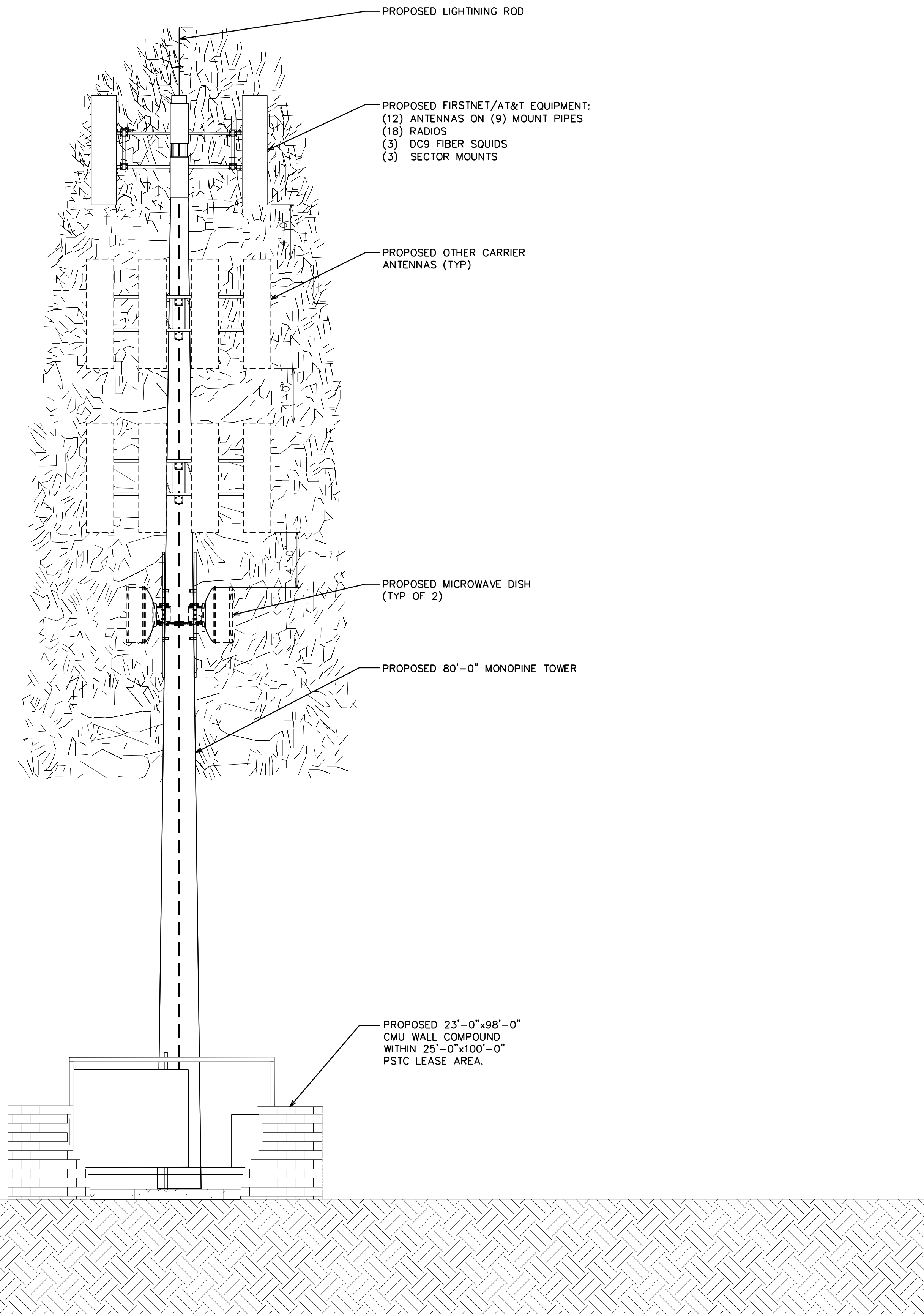
64'-0"±  
C/FUTURE CARRIER

52'-0"±  
C/FUTURE CARRIER

42'-0"±  
C/MICROWAVES

6'-0"  
T/CMU WALL

0'-0" (REF)  
T/CONCRETE



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**AT&T/FIRSTNET ID: CCL02094  
NORTHPOINT**

**PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)**

**PROPOSED 80'-0"  
MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	BKK	ZONING	HMM

**SEAL:**

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**SHEET TITLE:**  
**FINAL EAST ELEVATION**

**SHEET NUMBER:**  
**C-2.3**

**REVISION:**  
**K**

**TEP #:** 314201.336187

**NOTES:**

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF PASSING STRUCTURAL ANALYSIS.
2. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DID NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO ANTENNA HEIGHTS, ANTENNA AZIMUTHS, AND MOUNT CONFIGURATIONS.
3. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT FIRSTNET/AT&T OR PSTC IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES.

85'-0"±  
T/APPERTENANCE

80'-0"±  
T/TOWER

78'-0"±  
C/FIRSTNET/AT&T ANTENNA

76'-0"±  
C/FIRSTNET/AT&T ANTENNA

74'-0"±  
C/FIRSTNET/AT&T ANTENNA

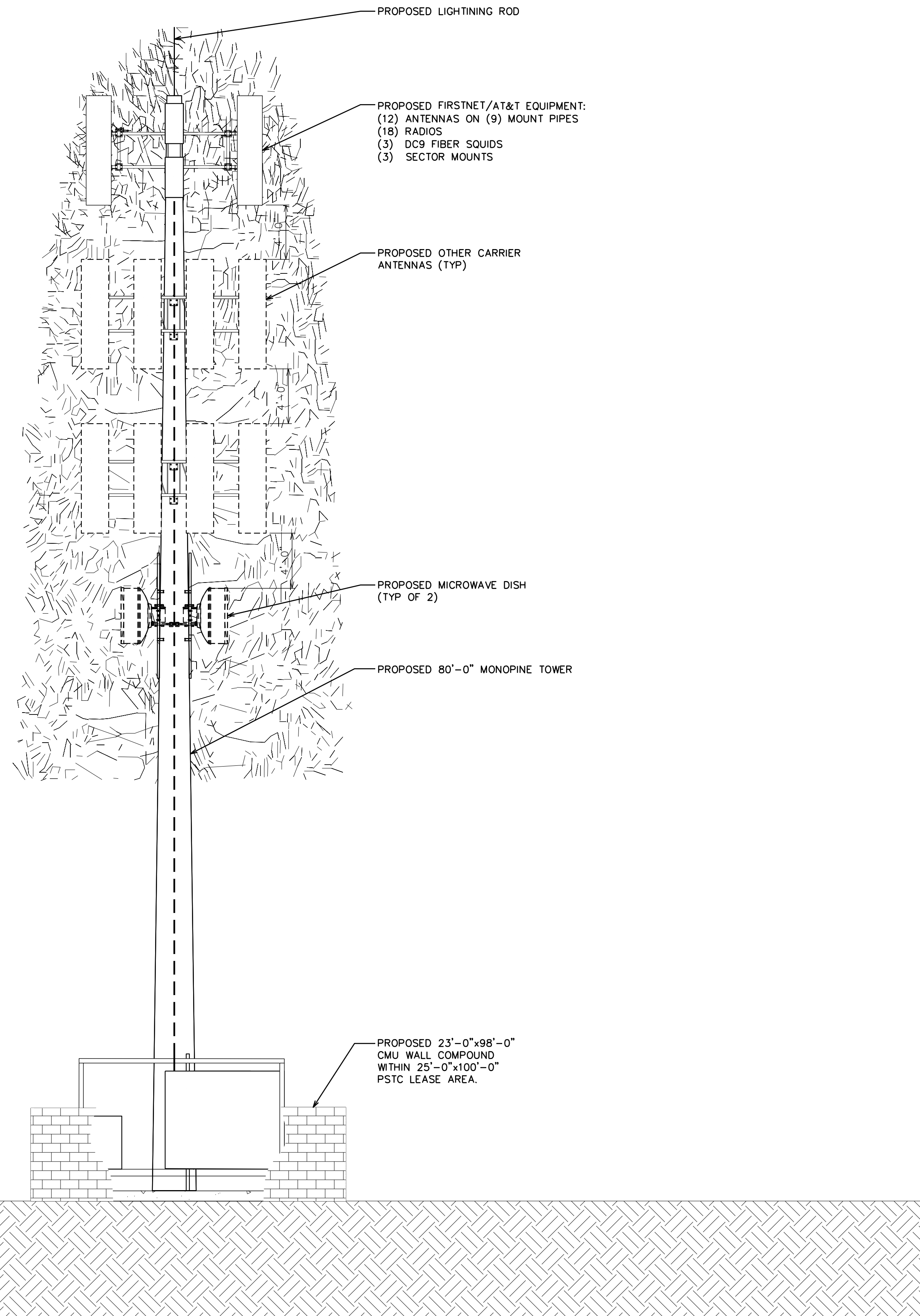
64'-0"±  
C/FUTURE CARRIER

52'-0"±  
C/FUTURE CARRIER

42'-0"±  
C/MICROWAVES

6'-0"  
T/CMU WALL

0'-0" (REF)  
T/CONCRETE



1903 WRIGHT PLACE, SUITE 140  
CARLSBAD, CA 92008

5005 EXECUTIVE PARKWAY  
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**AT&T/FIRSTNET ID: CCL02094  
NORTHPOINT**

**PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)**

**PROPOSED 80'-0"  
MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	BKK	ZONING	HMM

**SEAL:**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

**SHEET TITLE:**  
**FINAL WEST  
ELEVATION**

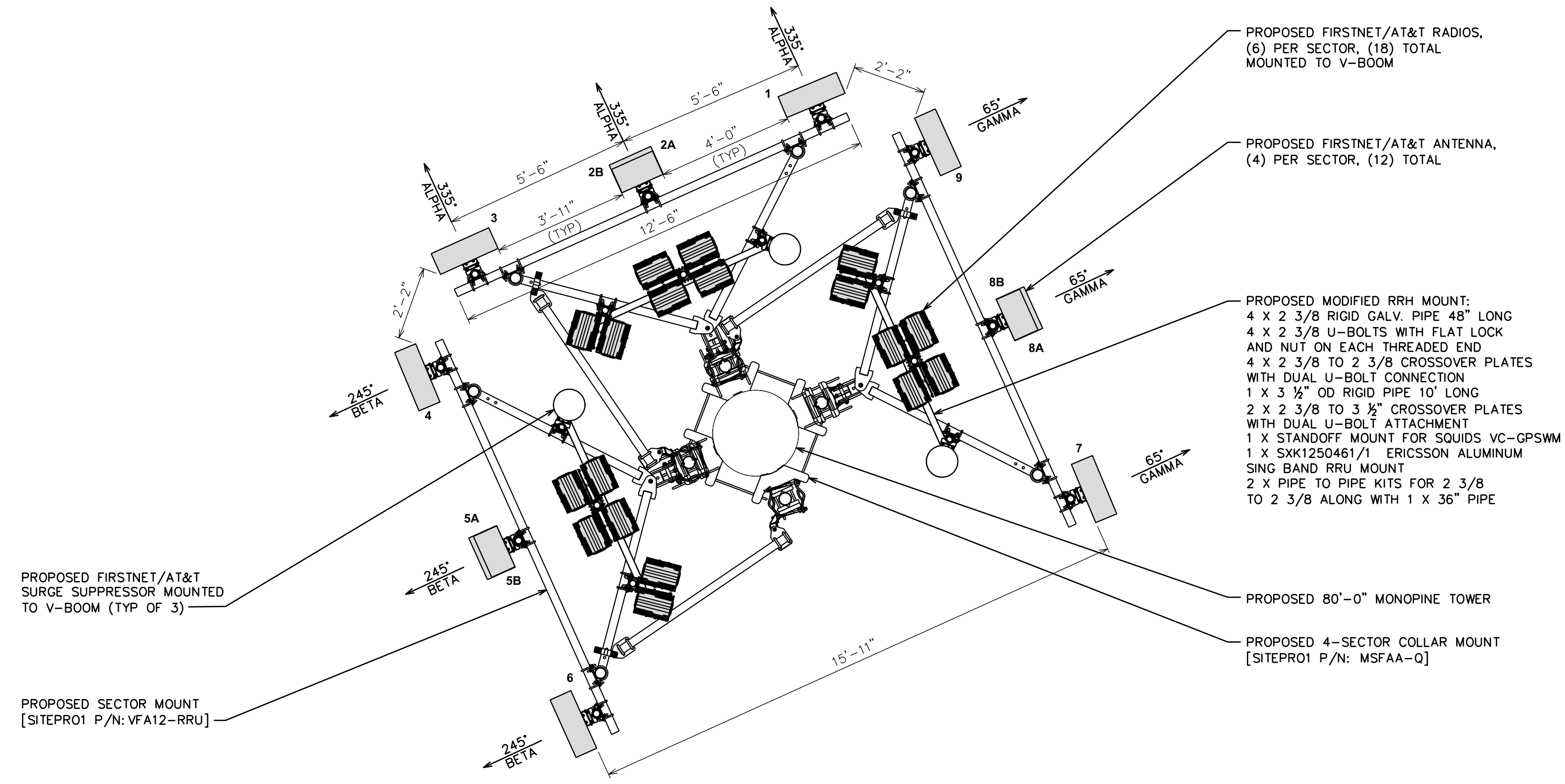
**SHEET NUMBER:**  
**C-2.4**

**REVISION:**  
**K**

**TEP #:** 314201.336187

**NOTE:**

TEP DID NOT ANALYZE THE PROPOSED MOUNT SHOWN.



**PUBLIC SAFETY TOWERS COMPANY**  
 1903 WRIGHT PLACE, SUITE 140  
 CARLSBAD, CA 92008

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 NORTHPOINT**

**PSTC #: CANC-SROSA01  
 GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE  
 SANTA ROSA, CA 95407  
 (SONOMA COUNTY)**

**PROPOSED 80'-0"  
 MONOPINE TOWER**

**1 FINAL ANTENNA LAYOUT**

SCALE: 3/8" = 1'-0" (24x36)  
 SCALE: 3/16" = 1'-0" (11x17)  
 0 2 4  
 SCALE IN FEET

**2 FINAL ANTENNA SCHEDULE**

SCALE: N.T.S.

FINAL ANTENNA/FEEDLINE SCHEDULE							
SECTOR	POS.	MANUFACTURER (MODEL #)	MOUNTING HEIGHT	AZIMUTH (TN)	CABLE SIZE	CABLE LENGTH	OVP/RRH/TMA/DIPLEXER [MODEL #]
ALPHA	1	QUINTEL (QD8612-3D)	Ⓞ @ 76'-0"±	335°	(9) DC POWER TRUNKS (3) FIBER TRUNKS	126'±	(1) RADIO 4449 B5/B12 (1) RADIO 8843 B2/B66A (1) RADIO 2012 B29 (1) RADIO 4426 B66 (1) RADIO 4415 B30 (1) RADIO 4478 B14 (1) DC9-48-60-24-8C-EV
ALPHA	2A	ERICSSON (AIR6449-B77D)	Ⓞ @ 74'-0"±	335°			
ALPHA	2B	ERICSSON (AIR6419-B77G)	Ⓞ @ 78'-0"±	335°			
ALPHA	3	QUINTEL (QD8616-7)	Ⓞ @ 76'-0"±	335°			
BETA	4	QUINTEL (QD8612-3D)	Ⓞ @ 76'-0"±	245°			
BETA	5A	ERICSSON (AIR6449-B77D)	Ⓞ @ 74'-0"±	245°			
BETA	5B	ERICSSON (AIR6419-B77G)	Ⓞ @ 78'-0"±	245°			
BETA	6	QUINTEL (QD8616-7)	Ⓞ @ 76'-0"±	245°			
GAMMA	7	QUINTEL (QD8612-3D)	Ⓞ @ 76'-0"±	65°			
GAMMA	8A	ERICSSON (AIR6449-B77D)	Ⓞ @ 74'-0"±	65°	(1) RADIO 4449 B5/B12 (1) RADIO 8843 B2/B66A (1) RADIO 2012 B29 (1) RADIO 4426 B66 (1) RADIO 4415 B30 (1) RADIO 4478 B14 (1) DC9-48-60-24-8C-EV		
GAMMA	8B	ERICSSON (AIR6419-B77G)	Ⓞ @ 78'-0"±	65°			
GAMMA	9	QUINTEL (QD8616-7)	Ⓞ @ 76'-0"±	65°			

\*NOTE: EQUIPMENT IS PRELIMINARY AND SUBJECT TO CHANGE

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	SKK	ZONING	HMM

**SEAL:**

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**SHEET TITLE:**  
**FINAL ANTENNA LAYOUT & SCHEDULE**

**SHEET NUMBER:** **C-3**      **REVISION:** **K**

**TEP #:** 314201.336187

2.2 System Configuration

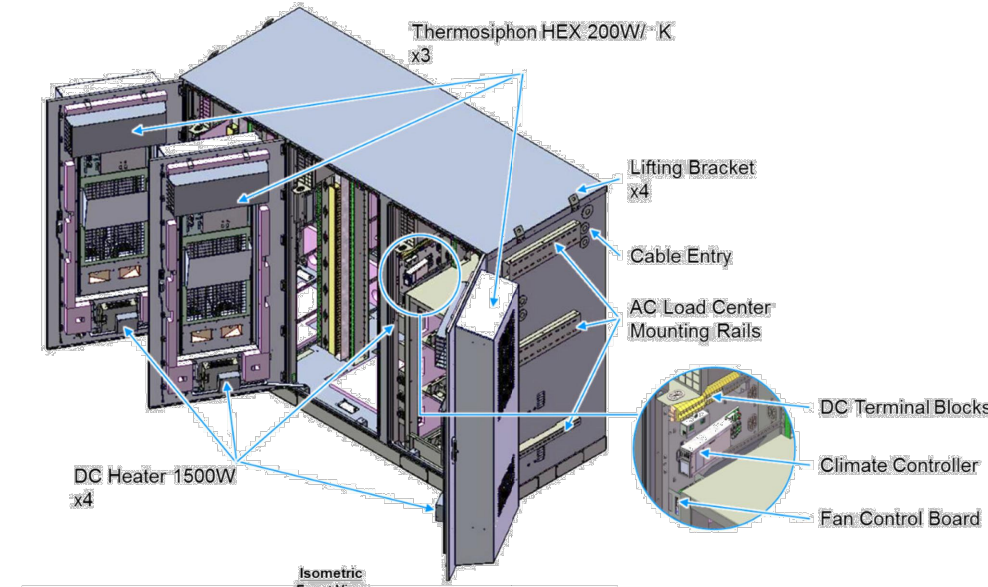
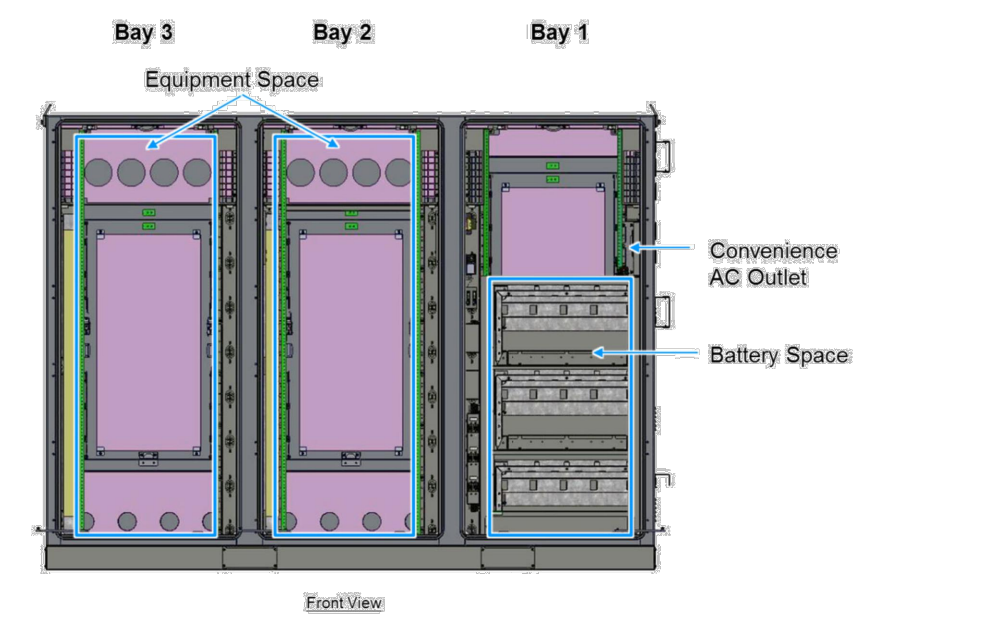


Figure 2-2 Multi-Bay Cabinet (Front View)



2.3 Cabinet Specifications

The cabinet is arranged for installation of a Delta or third-party AC Load Center and front access DC Power System. Table 2-1 below contains the input power specifications.

Table 2-1 Cabinet Specifications	
Item	Specification/Function
<b>AC Input Range</b>	
AC Input Voltage	1W+N+FG 100-120V <sub>AC</sub>
AC Input Current (maximum)	12A (Max.)
AC Input Frequency	50/60Hz
<b>DC Input Range</b>	
DC Input Voltage	40 - 60V <sub>DC</sub> (54V typical)
DC Input Current Rating	224A (max)
<b>Battery Section</b>	
Battery Trays	(3) Trays arranged for -48V battery strings, designed for: GNB Marathon M12V180FT Energys SBS190F Energys SBS170F
<b>Climate Control</b>	
Control & Supervisor Unit	Delta controller
Cooling	(3) 200W/K Thermosiphon HEX Cooling Capacity 9.1kW Maintains equipment inlet <65°C with exterior ambient <46°C
Heating	(4) 1500W DC Heaters
<b>Environmental</b>	
Operating Temperature	-40°C to +46°C (-40°F to +115°F)
Storage Temperature	-40°C to +75°C (-40°F to +167°F)
Relative Humidity	0-95% Relative Humidity, Non-Condensing
Altitude	-100 feet to +10,000 feet
Acoustic noise	≤ 65dBA @ +40°C equipment inlet
Protection Class	IP55 (EN 60529) NEBS III (GR-487)

2.4 Dimensions and Weight

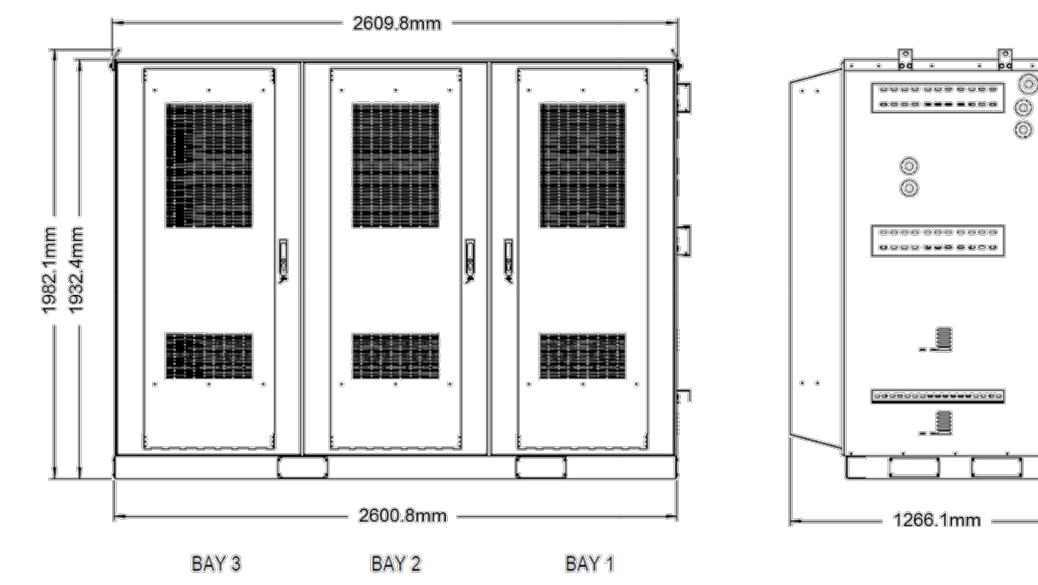


Figure 2-3 Cabinet Dimensions

Item	Specification/Function
Dimensions	2600.8W x 1932.4H x 1266.1D mm (102"W x 72"H x 49.5"D + 4" plinth)
Weight	2270* lbs. (* Batteries, Power System and Load Equipment excluded)



3.6 Cabinet Installation

Use the following steps to install the cabinet.

Step 1 Use the provided Template to mark anchor hole locations.

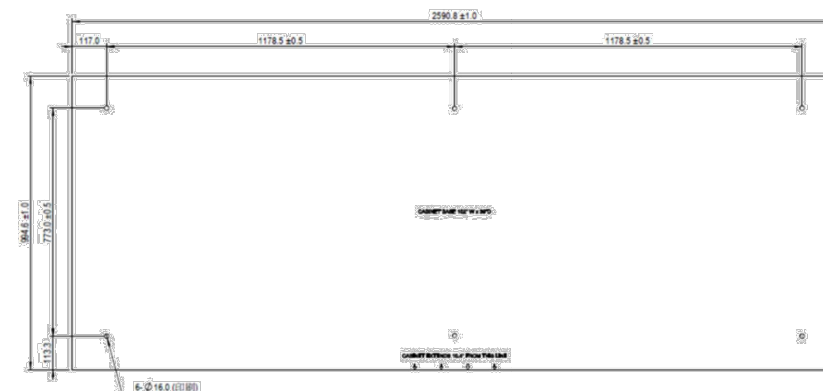


Figure 3-11 Mounting Template

Step 2 Drill anchor holes per specifications from the anchor manufacturer.

Step 3 Install anchors per instructions from the anchor manufacturer.

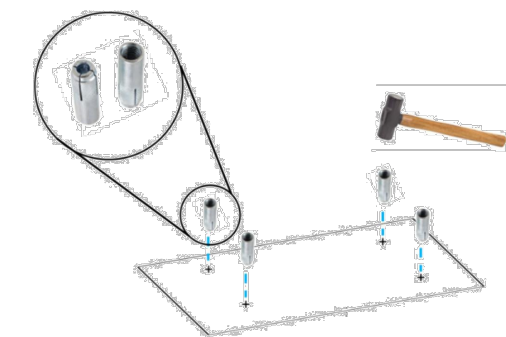


Figure 3-12 Insert anchors

Step 4 Place the pad separator (not provided) on the concrete pad aligned with the mounting holes. (A pad separator provides separation between the concrete pad and the base of the cabinet to prevent corrosion of the cabinet metal.)

Step 5 Mount the cabinet to the concrete pad with anchor bolts, lock washers and flat washers (not provided) per instructions from the anchor manufacturer.

Step 6 Close and secure hinged anchor access covers.



3.8 AC Load Center Installation

The cabinet provides mounting rails for AC Load Center mounting and corresponding cable entry ports for wiring from the AC Load Center into the cabinet. Follow Load Center requirements for installation.

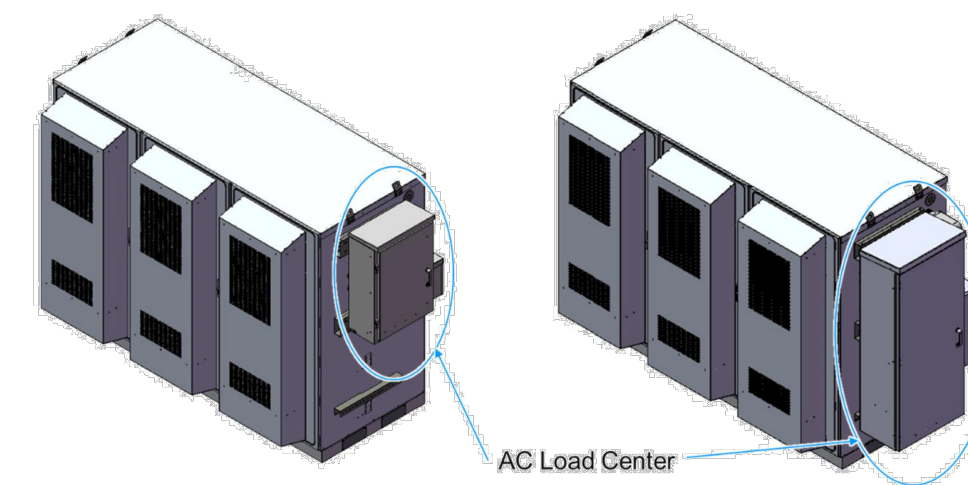


Figure 3-16 Cabinet with AC Load Center

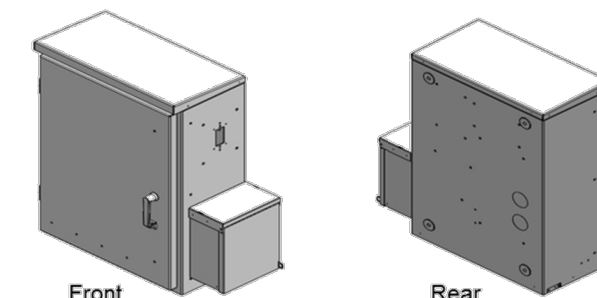


Figure 3-17 AC Load Center - MTS

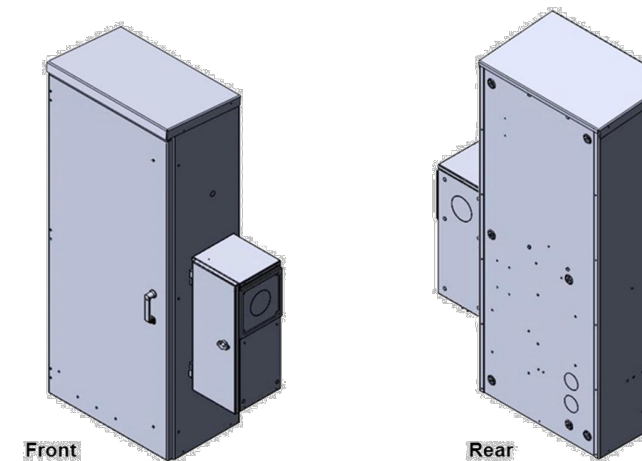


Figure 3-18 AC Load Center - ATS

**Note!** The cabinet provides mounting rails and AC cable entry ports arranged for mounting of Intersect PTLC-MTS-12200-CL or equivalent AC Load Center. An AC Load Center and related fittings are not provided with the cabinet and must be provided as integration or site materials.

Use the following steps to install the Load Center on the cabinet:

Step 1 Provide suitable sealed fittings from the AC Load Center for entry into the Cabinet. Install on the Load Center before installing the Load Center onto the Cabinet. Delta recommends using Size 2" x 4" long outdoor rated pipe nipples and sealing conduit nuts (not provided)

Step 2 Provide Intersect PTLC-MTS-12200-CL or equivalent AC Load Center. Secure the Load Center to mounting rails per Load Center vendor instructions.

Step 3 Secure and seal fittings from the AC Load Center into entry ports on the cabinet

Step 4 Confirm the Site Utility and Load Center Main AC input breakers are in the 'off' position

Step 5 Connect Site Utility 2W+N+G to the Load Center per Load Center vendor instructions, NEC, and local codes.

**Note!** Detailed AC Load Center position planning should include future equipment additions and changes

1903 WRIGHT PLACE, SUITE 140  
CARLSBAD, CA 92008

5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

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www.tepgroup.net

AT&T/FIRSTNET ID: CCL02094  
NORTHPOINT  
PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY

2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)  
PROPOSED 80'-0"  
MONOPINE TOWER

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
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I	04-21-23	RCH	ZONING	HMM
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K	01-04-24	SKK	ZONING	HMM

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SHEET TITLE:  
WALK-UP-CABINET  
DETAILS

SHEET NUMBER: **C-4** REVISION: **K**

TEP #: 314201.336187





**PowerSafe®**  
**SBS** Front Terminal  
Telecommunications NEBS™ Certified

**Battery Range Summary**

The PowerSafe® SBS® Front Terminal battery further extends the technical leadership of PowerSafe SBS battery product line: not only do PowerSafe SBS Front Terminal monoblocs retain the benefits typically associated with Thin Plate Pure Lead (TPPL) Technology such as long life, high energy density, superior shelf life, etc., they also deliver exceptional cyclic performance in both float and fast charge applications, even in the hottest and harshest operating environments.

Where conventional Valve Regulated Lead Acid (VRLA)/Absorbed Glass Mat (AGM) batteries struggle to cope with harsh conditions and frequent power outages, cutting edge (TPPL) technology makes PowerSafe 12V batteries the perfect solution for the challenging operating conditions of today's telecommunication networks.

PowerSafe SBS batteries are designed to high quality standards and a unique manufacturing methods means superior energy and power, high performance and proven reliability, there is no substitute to PowerSafe SBS Front Terminal batteries.

**Features and Benefits**

- Capacity range 31-190Ah
- 12V monobloc configurations
- Multiple string configurations available
- Two year shelf life
- SR4228 compliant
- Proven long service life
- High energy density and cycling capability



Publication No: US-SBSF-RS-004 - January 2014

**Construction**

- Robust positive plates are designed to prolong service life and enhance corrosion resistance
- Separators are low resistance microporous (AGM). The electrolyte is absorbed within the AGM, preventing acid spills in case of accidental damage
- Container and cover in flame retardant UL94-V0 material, highly resistant to shock and vibration
- Terminals are stainless steel front access with top access copper alloy insert. Top and front access terminations provide maximum conductivity
- Self-regulating one way pressure relief valves prevents ingress of atmospheric oxygen

**Installation and Operation**

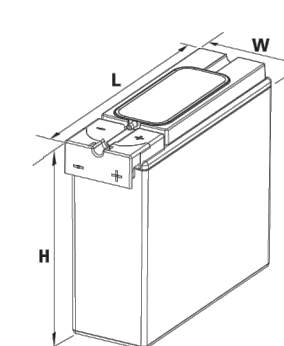
- Space efficient footprint
- VRLA design, reduces maintenance requirements
- Lifting handles for easy handling
- Greater than 10 year life expectancy in float service at 77°F (25°C)
- Increased active material surface area yields great cycling capability
- Operating temperature: -40°F (-40°C) to 122°F (50°C)  
Recommended temperature: 68°F (20°C) to 86°F (30°C)

**Standards**

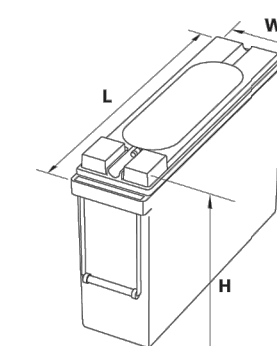
- Meets criteria for "non-spillable" batteries
- Complies with Telcordia® SR-4228, Network Equipment Building System (NEBS™) Criteria Levels
- The management systems governing the manufacture of this product are ISO 9001:2008 and ISO 14001:2004 certified

**General Specifications**

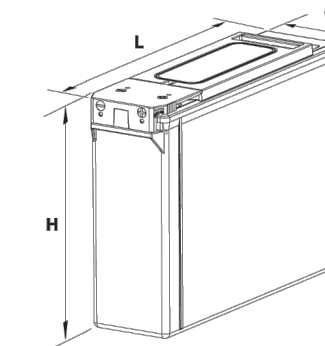
Cell Type	Nominal Capacity (Ah)		Nominal Dimensions				Weight - Volumes			
	10 hr rate to 1.80Vpc @20°C	8 hr rate to 1.75Vpc @77°F	in Length	mm	in Width	mm	in Height	mm	lbs Unpacked	kg
SBS B8F	31	31	11.9	303	3.8	97	6.3	159	22.7	10.3
SBS B10F	38	38	11.9	303	3.8	97	7.2	184	28.2	12.8
SBS B14F	62	62	11.9	303	3.8	97	10.4	264	42.0	19.1
SBS C11F	92	91	16.4	417	4.1	105	10.1	256	61.6	28.0
SBS 100F	100	100	15.6	395	4.3	108	11.3	287	71.9	32.6
SBS 112F	112	112	22.1	561	4.9	125	9.0	228	90.4	41.1
SBS 145F	145	145	17.9	455	6.8	173	9.4	238	105.0	47.7
SBS 165F	165	165	17.9	455	6.8	173	10.8	273	117.4	53.3
SBS 170F	170	170	22.1	561	4.9	125	11.1	283	115.7	52.5
SBS 190F	190	190	22.1	561	4.9	125	12.4	316	132.3	60.0



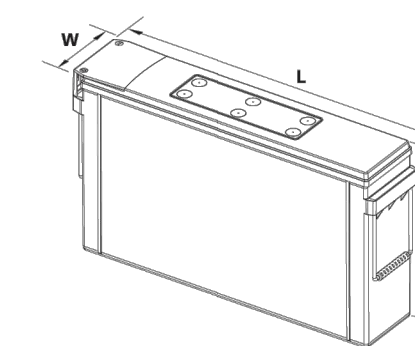
SBS B8F-B14F



SBS C11F



SBS 100F-112F



SBS 145F - 190F

MANUFACTURER:	ALPINE POWER SYSTEMS
MODEL:	POWERSAFE SBS 190F
BATTERY QTY:	8 UNITS
TOTAL BATTERY KWH:	18.24
TOTAL BATTERY WEIGHT (KG/LBS):	480 / 1058.4
TOTAL ELECTROLYTE VOLUME (GAL):	18.72
TOTAL ELECTROLYTE WEIGHT (KG/LBS):	129.5 / 285.4

**PUBLIC SAFETY TOWERS**  
COMPANY  
1903 WRIGHT PLACE, SUITE 140  
CARLSBAD, CA 92008

**AT&T**  
5005 EXECUTIVE PARKWAY  
SAN RAMON, CA 94583

**TOWER ENGINEERING PROFESSIONALS**  
4710 E ELWOOD ST, STE 9  
PHOENIX, AZ 85040  
OFFICE: (480) 285-0036  
www.tepgroup.net

**AT&T/FIRSTNET ID: CCL02094**  
**NORTHPOINT**  
  
**PSTC #: CANC-SROSA01**  
**GIFFEN AVENUE PROPERTY**  
  
**2715 GIFFEN AVE**  
**SANTA ROSA, CA 95407**  
**(SONOMA COUNTY)**  
  
**PROPOSED 80'-0"**  
**MONOPINE TOWER**

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION	QA
G	02-01-23	SSO	ZONING	HMM
H	03-28-23	SSO	ZONING	HMM
I	04-21-23	RCH	ZONING	HMM
J	09-29-23	CAM	ZONING	HMM
K	01-04-24	SKK	ZONING	HMM

**SEAL:**

**ZONING**  
DO NOT USE FOR  
CONSTRUCTION

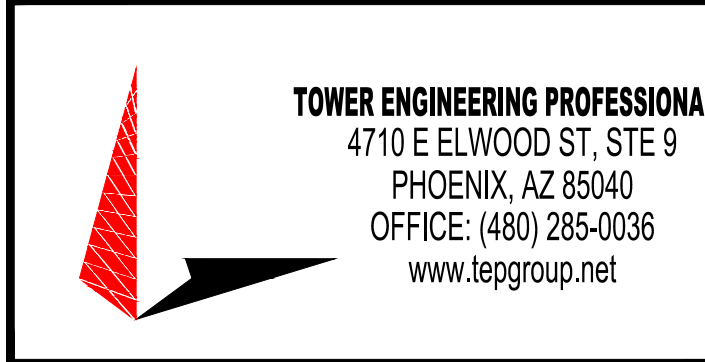
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**SHEET TITLE:**  
**BATTERY DETAILS**

**SHEET NUMBER:** **C-6**      **REVISION:** **K**

**TEP #:** 314201.336187





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NORTHPOINT

PSTC #: CANC-SROSA01  
GIFFEN AVENUE PROPERTY

2715 GIFFEN AVE  
SANTA ROSA, CA 95407  
(SONOMA COUNTY)

PROPOSED 80'-0"  
MONOPINE TOWER

ISSUED FOR:				
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K	01-04-24	BKK	ZONING	HMM

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SHEET TITLE:  
**AC PANEL SCHEDULE**

SHEET NUMBER: **E-1** REVISION: **K**

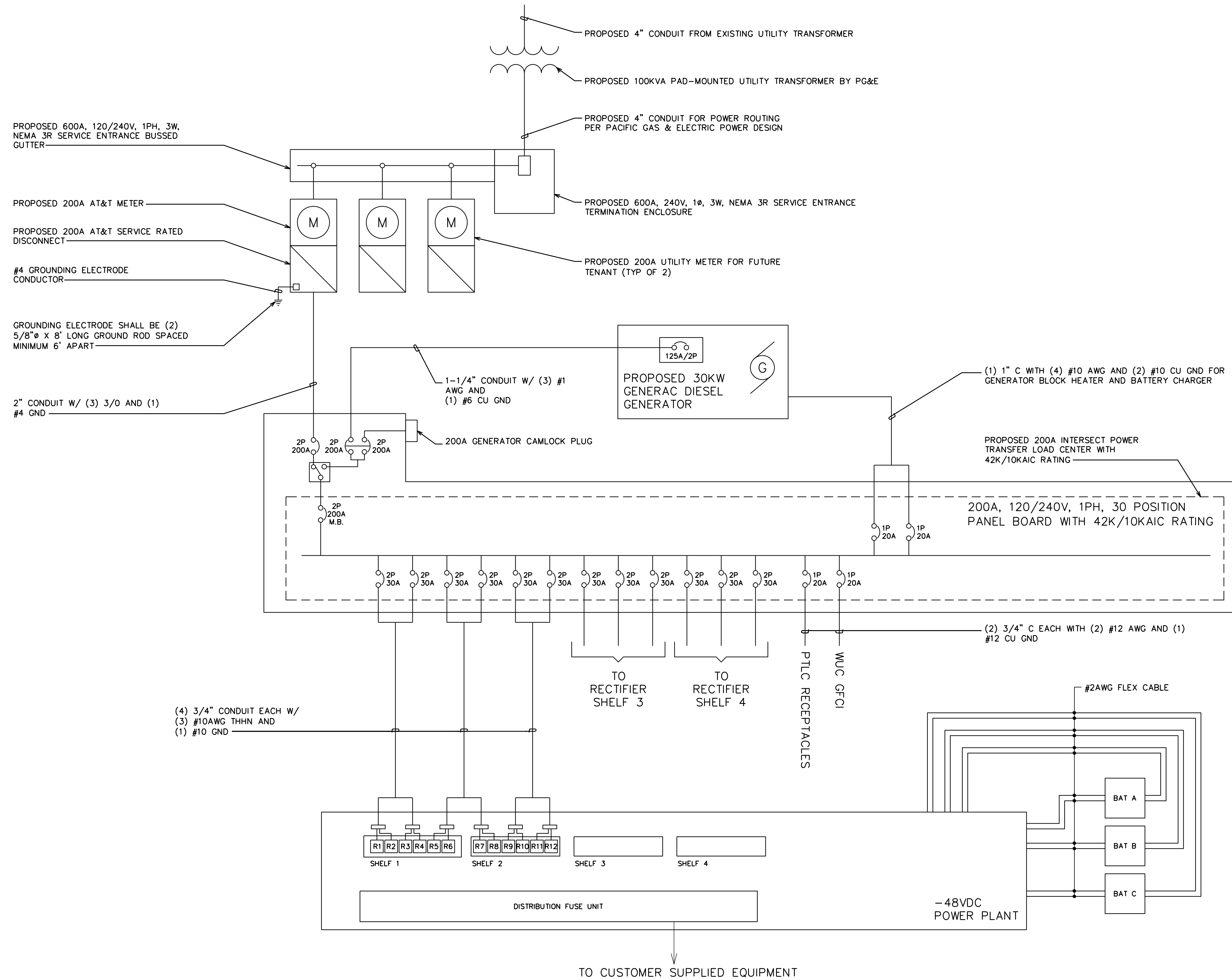
TEP #: 314201.336187

AC POWER PANEL A (PROPOSED)											
120/240 VOLTS, 1-PHASE, 3-WIRE, 200A											
MAIN BREAKER RATING (A) :				200		SYSTEM VOLTAGE (V) :				240	
DESCRIPTION	VA	c/nc	BKR	POSN	L1	L2	POSN	BKR	c/nc	VA	DESCRIPTION
RECTIFIERS #1 & 2	1410	c	30/2	1	2820		2	30/2	c	1410	RECTIFIERS #3 & 4
	1410	c		3		2820	4		c	1410	
RECTIFIERS #5 & 6	1410	c	30/2	5	2820		6	30/2	c	1410	RECTIFIERS #7 & 8
	1410	c		7		2820	8		c	1410	
RECTIFIERS #9 & 10	1410	c	30/2	9	2820		10	30/2	c	1410	RECTIFIERS #11 & 12
	1410	c		11		2820	12		c	1410	
SPARE / OFF	0	nc	30/2	13	0		14	30/2	nc	0	SPARE / OFF
	0	nc		15		0	16		nc	0	
SPARE / OFF	0	nc	30/2	17	0		18	30/2	nc	0	SPARE / OFF
	0	nc		19		0	20		nc	0	
SPARE / OFF	0	nc	30/2	21	0		22	30/2	nc	0	SPARE / OFF
	0	nc		23		0	24		nc	0	
BLANK				25	1000		26	20/1	nc	1000	*GEN BLOCK HEATER
BLANK				27		650	28	20/1	nc	650	*GEN BATT CHARGER
PTLC RECEPTACLES	720	nc	20/1	29	900		30	20/1	nc	180	WUC GFCI
PHASE TOTALS (VA):					10360	9110					
PHASE TOTALS (A):					86	76					
CURRENT PER PHASE W/ 125% Continuous Loads(A):					104	94	Amperes/phase cannot exceed main breaker rating				
PANEL TOTAL (VA):					19470		Legend: c = continuous, nc = non-continuous				
PANEL TOTAL W/ 125% Continuous Loads (VA):					23700						
TOTAL LOAD FOR GEN OPERATION:					17820		*Generator loads are not in operation while generator is running				

PROPOSED LOADING = 23.7 KVA

**NOTES:**

1. CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT WITH POWER COMPANY AND ENSURE ALL ELECTRICAL EQUIPMENT IS SUITABLE FOR AVAILABLE FAULT CURRENT.
2. CONTRACTOR SHALL COORDINATE UTILITY SERVICES WITH LOCAL UTILITY COMPANIES. VERIFY ALL REQUIREMENTS WITH UTILITY COMPANY STANDARDS.
3. ONE-LINE DIAGRAM IS FOR SCHEMATIC PURPOSES ONLY AND IS NOT INDICATIVE OF THE ACTUAL EQUIPMENT LAYOUT.
4. CONTRACTOR SHALL LABEL METER SOCKET WITH SERVICE OWNER NAMEPLATE WITH 1/2" HEIGHT MINIMUM LETTERS.
5. CONTRACTOR TO DETERMINE AVAILABLE FAULT CURRENT BEFORE ENERGIZING EQUIPMENT. THE AMOUNT OF AVAILABLE FAULT CURRENT SHALL BE MARKED ON THE SERVICE EQUIPMENT PER NEC 110.24.
6. CONTRACTOR WILL NOTIFY UTILITY COMPANY OF CHANGES IN ELECTRICAL LOAD.



**AT&T/FIRSTNET ID: CCL02094 NORTHPOINT**

**PSTC #: CANC-SROSA01 GIFFEN AVENUE PROPERTY**

**2715 GIFFEN AVE SANTA ROSA, CA 95407 (SONOMA COUNTY)**

**PROPOSED 80'-0" MONOPINE TOWER**

**ISSUED FOR:**

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**SHEET TITLE:**

**ONE-LINE DIAGRAM**

**SHEET NUMBER:** **E-2**

**REVISION:** **K**

**TEP #:** 314201.336187