

# McNeill Real Estate Services, Inc.

## NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY  
SANTA ROSA, CALIFORNIA



RMW  
Architecture  
Interiors 1718 Third Street  
Suite 101  
Sacramento  
California 95811

Office  
916 449-1400

rmw.com

CLIENT:

**McNeill Real Estate  
Services**  
Joseph A McNeill, III

916 718 5659  
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

### NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT  
THUNDERBOLT WAY  
SANTA ROSA, CALIFORNIA

approved for the owner by :

approved for the architect by :

issue :	description :	date :
A	ISSUED FOR REVIEW	09-15-2023



VIEW OF NORTH EAST CORNER

**PROJECT NARRATIVE:**

**Design Concept:** The design concept and design approach for the building is based on and takes its cues from the architectural style of modernism which is characterized by clean geometric forms and clean lines with an emphasis on the horizontal aspect of the building's facade.

**Site:** The project site is located on the south side of Northpoint Parkway between Kingfisher Way and Thunderbolt Way, in the City of Santa Rosa, California. The 6.81 acre site is currently undeveloped.

**Building:** The project plan proposes one industrial building totaling 114,884 square feet. The industrial buildings will be of Type VB construction, site cast, tilted concrete panels with a variety of architectural enhancements. The typical wall panels are to be enhanced with reveals and a textured elastomeric, multicolored coating system. The areas around the building entries are also enhanced with tinted glazing in aluminum frames with overhead steel-framed painted canopies. The placement of these enhancements is focused at those locations most visible from the public roadways.

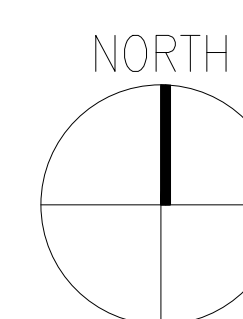
**Site Access and Parking:** One site entrance drive is proposed along Kingfisher Way. A second drive is provided along Thunderbolt Way. The site plan proposes a total of 166 vehicle parking stalls for employees and or customers.

**Signage:** The proposed signage in this submittal is for reference only. Criteria for future tenant signage will be provided at a later date and under a separate permit as required.

**Landscaping:** The project will be fully landscaped using plants appropriate for and indigenous to the City of Santa Rosa. Low water use plants will be used extensively, while moderate water use plants will be concentrated at accent points, such as driveways and building entries.

**Sustainable Materials & Construction Practices:** The project will incorporate a variety of sustainable materials and construction practices to include the following: 1) A storm water pollution prevention plan to minimize contamination, erosion, and dust pollution during construction. All storm water runoff from impervious surfaces (roofs and paving) will be routed through a specially designed water quality detention and treatment basin. Additionally, if needed, on-site detention will be provided to meet the City of Santa Rosa standards. 2) Storage and collection of recyclable materials. 3) Construction waste management. 4) Environmental tobacco smoke control. 5) Heat reflecting roof membranes. 6) Light pollution reduction. 7) Water efficient landscaping. 8) Water use reduction methods. 9) Low VOC emitting sealants, adhesives, coatings, floorings, and wood materials. 10) Roof structures designed to accommodate additional weight for roof-top photovoltaic electricity generation panel arrays. 11) California Green Building Code compliant electric vehicle charging stations at eight locations. 12) The project architect is a LEED accredited professional and will apply his knowledge of LEED techniques and practices to the project design and construction.

**VICINITY MAP:**



**PROJECT TEAM:**

**OWNER**  
MCNEILL REAL ESTATE SERVICES, INC.  
5245 TAPESTRY CT.  
FAIRFIELD, CA 94534  
P: 916-718-5659

**ARCHITECT:**  
RMW ARCHITECTURE & INTERIORS  
1718 3RD STREET, SUITE 101  
SACRAMENTO, CA 95811  
P: 916-449-1400 x405

**CIVIL ENGINEER:**  
BC ENGINEERING GROUP INC.  
4188 B STREET - 3rd FLOOR  
SANTA ROSA, CA 95401  
P: 707-542-4321

**LANDSCAPE DESIGNER**  
DESIREE GARON  
308 HATCHERY LANE  
SONOMA, CA 95476  
P: 707-694-6139

JOSEPH A. McNEILL, III  
mcneill.jose@gmail.com

JEFF LEONHARDT,  
PROJECT ARCHITECT &  
PROJECT DESIGNER  
jleonhardt@rmw.com

TOM BILLETER, P.E.  
tb@bcengineeringgroup.com

DESIREE GARON  
dgaron@magrane.com

**SHEET INDEX:**

A00.1	COVER SHEET
A00.2	PROJECT RENDERINGS
A01.0	PRELIMINARY SITE PLAN
A01.1	SITE DETAILS
A02.1	PRELIMINARY FLOOR PLAN
A02.2	PRELIMINARY ROOF PLAN
A02.3	SIGHT LEVEL SECTIONS
A03.1	EXTERIOR ELEVATIONS
C1.0	PROJECT INFORMATION
C1.1	PRELIMINARY GRADING AND DRAINAGE PLAN
C1.2	PRELIMINARY CROSS SECTION VIEWS
C1.3	PRELIMINARY UTILITY PLAN
L1.0	LANDSCAPE SITE PLAN
PH01.0	PRELIMINARY LIGHTING SITE PLAN
PH01.1	PRELIMINARY PHOTOMETRIC LIGHTING PLAN
PH01.2	LIGHTING CUT SHEET

drawn by : TLG plot date : 09-15-2023

checked by : AGJDL

stamp



scale : AS NOTED

project number : 2204025.00

**COVER SHEET**

sheet no. :

**A00.1**

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C: VIEW OF NORTH EAST CORNER



A: VIEW OF FRONT ELEVATION



B: VIEW OF NORTH WEST CORNER

PROJECT RENDERINGS

SCALE: NO SCALE

1

drawn by : TLG plot date : 09-15-2021

checked by : AG/JDL

stamp



scale : AS NOTED

project number : 2204025.00

**PROJECT  
RENDERINGS**

sheet no. :

**A00.2**

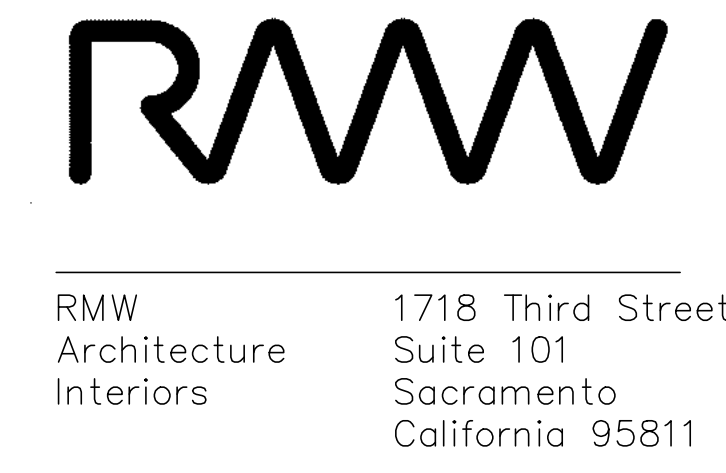


**SITE INFORMATION / STATISTICS:**

**APN:** 035-530-022-000  
**ZONING:** IG - LIGHT INDUSTRIAL  
**TOTAL GROSS SITE AREA:** 296,438 G.S.F. = 6.81 ACRES  
**BUILDING AREA:** 114,883.67 G.S.F.  
**SITE COVERAGE:** 38.75 % (GROSS)  
**CONSTRUCTION TYPE:** V-B  
**BUILDING HEIGHT:** 37'-4"  
**CLEAR HEIGHT:** 28'-0"  
**NUMBER OF STORIES:** 1  
**PARKING:** 163 STALLS TOTAL  
**PARKING STANDARDS:** (SANTA ROSA ZONING CODE 20-36.040 TABLE 3.4)  
 • WAREHOUSING 1700 S.F. OR AS DETERMINED BY CUP. THE GROSS FLOOR AREA MAY INCLUDE ACCESSORY OFFICE SPACE COMPRISING LESS THAN 5% OF THE GROSS FLOOR AREA  
 (114,883.67 S.F. @ 1700 S.F. = 164.12 = 165 STALLS)  
 (165 STALLS WITH 25% PARKING REDUCTION = 124 STALLS)  
 • REQUIRED: 165 STALLS / 124 STALLS WITH 25% REDUCTION  
 • PROVIDED: 163 STALLS  
 • STANDARD STALLS: 119 9' X 19' (17' WITH A 2'-0" OVERHANG)  
 • COMPACT STALLS: 44 8' X 16' (14' WITH A 2'-0" OVERHANG) 27% OF TOTAL STALLS  
**ACCESSIBLE & DESIGNATED PARKING STALLS (REQUIRED AND PROVIDED):**  
 PER 2022 CBC TABLE 11B-208.2: 151 TO 200 STALLS, 6 STALLS REQUIRED TO BE ACCESSIBLE STALLS: EVERY 6 OR FRACTION OF SIX, AT LEAST ONE SHALL BE VAN PARKING, 6 ADA STALLS (INCLUDING 1 VAN ACCESSIBLE STALL) PROVIDED.  
 PER 2022 CALIFORNIA GREEN BUILDING CODE TABLE 5.106.5.3.1: 151 TO 200 STALLS, 35 STALLS REQUIRED TO BE EV CAPABLE SPACES, AND 9 OF THOSE ARE REQUIRED TO BE PROVIDED WITH EVSE.  
 PER CBC TABLE 11B-228.3.2.1, 26 TO 50 EVCS STALLS: 1 VAN ACCESSIBLE EVCS, 1 STANDARD ACCESSIBLE EVCS AND 1 AMBULATORY EVCS ARE REQUIRED.  
 OF THE 36 EVCS PROVIDED, 1 VAN EVCS, 1 STANDARD ADA EVCS, AND 1 AMBULATORY EVCS ARE PROVIDED AS SHOWN.  
**BICYCLE PARKING PER SANTA ROSA ZONING CODE 20-36.040 TABLE 3.4**  
 1 SPACE PER 14,000 SF, OR AS DETERMINED BY CUP.  
 114,883.67 SF / 14,000 SF = 8.21 = 9 REQUIRED BICYCLE PARKING STALLS  
**\*LONG TERM BICYCLE PARKING TO BE PROVIDED INSIDE THE BUILDING AT TIME OF FUTURE TENANT IMPROVEMENTS**

**SITE LEGEND:**  
 BUILDING AREA  
 SITE CONCRETE  
 STORM WATER RETENTION AREA  
 ASPHALT AREA  
 LANDSCAPE AREA  
 9' X 10' OVERHEAD DOCK LEVEL DOOR  
 12' X 14' OVERHEAD GRADE LEVEL DOOR

**KEYNOTES:**  
 1 EXISTING PROPERTY LINES.  
 2 EXISTING SEWER LINE, SEE CIVIL DRAWINGS  
 3 STRIPED PATH OF TRAVEL TO TRASH ENCLOSURE  
 4 PARKING AISLE TO BE PERVIOUS ASPHALTIC CONCRETE, SEE CIVIL DRAWINGS FOR MORE INFO  
 5 TYPICAL 6" TALL X 6" WIDE CONCRETE CURBS, SEE CIVIL DRAWINGS  
 6 TYPICAL 4" WIDE TRAFFIC STRIPING  
 7 TYPICAL PARKING:  
 A. STANDARD STALLS: 9' X 19' OR 9' X 17' WITH 2' PARKING OVERHANG.  
 B. COMPACT STALLS: 8' X 16' OR 8' X 14' WITH 2' PARKING OVERHANG.  
 C. ACCESSIBLE PARKING STALLS: 9' X 18' MAX. WITH 2' PARKING OVERHANG WITH MINIMUM 5' OR 8' WIDE LOADING ZONE AS SHOWN, SEE DETAIL 12/A01.1.  
 D. ELECTRIC VEHICLE CHARGING SPACES (STALLS LABELED "ELECTRIC VEHICLE CHARGING"), TO FOLLOW REQUIREMENTS PER CBC 5.106.5.3.1.  
 E. ACCESSIBLE ELECTRIC VEHICLE CHARGING STALLS, VAN, STANDARD, AND AMBULATORY.  
 8 TYPICAL DRIVE ISLE, 26'-0" WIDE MINIMUM  
 9 CURB RAMP, SEE DETAIL 9/A01.1  
 10 PROPOSED LOCATION OF NEW SITE ACCESS DRIVE CURB CUT, SEE CIVIL DRAWINGS  
 11 NEW CONCRETE PEDESTRIAN WALKS, ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%) WHERE PARKING OVERHANG OCCURS, INCREASE WIDTH OF SIDEWALK TO 6'-0" MIN.  
 12 PROPOSED BUILDING EXTERIOR WALLS TO BE SITE CAST TILTED CONCRETE WALLS WITH REVEALS, A TEXTURED ELASTOMERIC COATING AND A MULTI-COLOR PAINT PALLET. SEE EXTERIOR ELEVATIONS, SHEET A03.1.  
 13 TRASH ENCLOSURE W/ 40FT. APPROACH, SEE DETAILS 1 & 2/A01.1  
 14 TYPICAL LANDSCAPE PLANTER AREA, SEE LANDSCAPE DRAWINGS  
 15 SEMI TRACTOR TRAILER TEMPLATE SHOWN FOR REFERENCE ONLY  
 16 60" DEPRESSED CONCRETE TRUCK DOCK  
 17 LOADING DOCK VERTICAL LIFT DOORS, TYPICAL  
 18 GRADE LEVEL VERTICAL LIFT DOORS, TYPICAL  
 19 GREEN DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL AT PUBLIC SIDEWALK, TYP.  
 20 LOCATION OF SITE ENTRY SIGN REGARDING PARKING IN ACCESSIBLE PARKING STALLS. SEE DETAIL 15/A01.1  
 21 CURB WITH GUARDRAIL AT EACH SIDE OF LOADING DOCKS, WITH 6" CURB PAINTED "SAFETY YELLOW", TYP. SEE DETAIL 18/A01.1  
 22 STORM WATER RETENTION BASIN, SEE CIVIL DRAWINGS  
 23 BICYCLE RACKS, SEE DETAIL14/A01.1  
 24 RED DASHED LINE INDICATES FIRE LANES. FIRE LANES TO BE MARKED WITH SIGNS EVERY 50 FEET STATING "NO PARKING FIRE LANE" PER SACRAMENTO METROPOLITAN FIRE DISTRICT STANDARDS.  
 25 DASH-DOT INDICATES AREA OF ASSISTED RESCUE  
 26 LANDSCAPE SETBACK, SEE LANDSCAPE DRAWINGS.  
 27 DASHDOT LINE INDICATES FIRE DEPARTMENT TURNING RADIUS. SEE TYPICAL FIRE TURN RADIUS DIAGRAM 17/A01.1  
 28 SITE LIGHTING 16' MAX. HEIGHT. SEE PHOTOMETRIC PLANS  
 29 DASHED LINE INDICATED 2'-0" PARKING OVERHANG.  
 30 PROPOSED TRUCK ACCESS DRIVE AISLE  
 31 EXISTING STREET LIGHT  
 32 EXISTING UTILITIES, PROTECT. SEE CIVIL DRAWINGS  
 33 EXISTING FIRE HYDRANTS, SEE CIVIL DRAWINGS  
 34 EXISTING MONITORING WELLS, SEE CIVIL DRAWINGS  
 35 EXISTING ELECTRICAL TRANSFORMER AND PG&E, SEE CIVIL DRAWINGS  
 36 PROPOSED NEW SIDEWALK, SEE CIVIL AND LANDSCAPE DRAWINGS  
 37 8' TALL CMU OR CONCRETE TILT-UP, INTEGRALLY COLORED SOUND MITIGATION WALL, AT TOP OF SWALE SLOPE, PLANTED WITH CLIMBING VINES ON SOUTH SIDE FACE. SEE DETAIL 19/A01.1  
 38 TOP OF CREEK BANK, SEE CIVIL DRAWINGS  
 39 30' SETBACK FROM TOP OF CREEK BANK, SEE CIVIL DRAWINGS

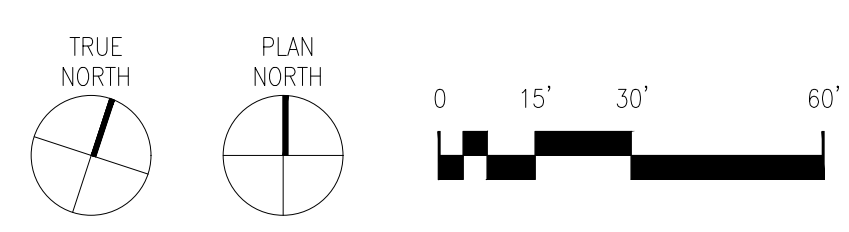


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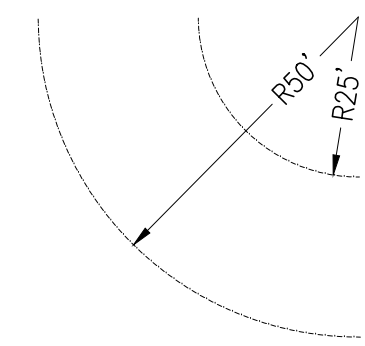
approved for the owner by:  
 approved for the architect by:  
 issue: description: date:  
 A ISSUED FOR REVIEW 09-15-2023



**PRELIMINARY SITE PLAN**  
 SCALE: 1" = 30'-0"

**PRELIMINARY SITE PLAN**

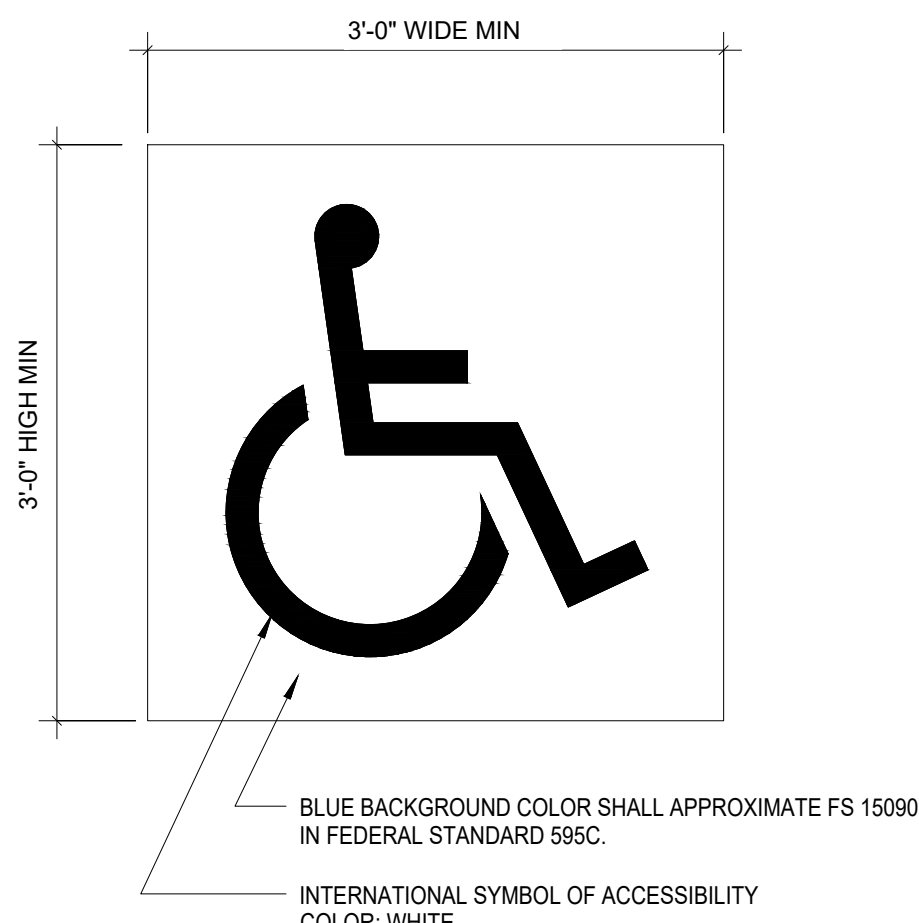
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TYPICAL FIRE TURN RADIUS

SCALE: 1" = 30'-0"

17

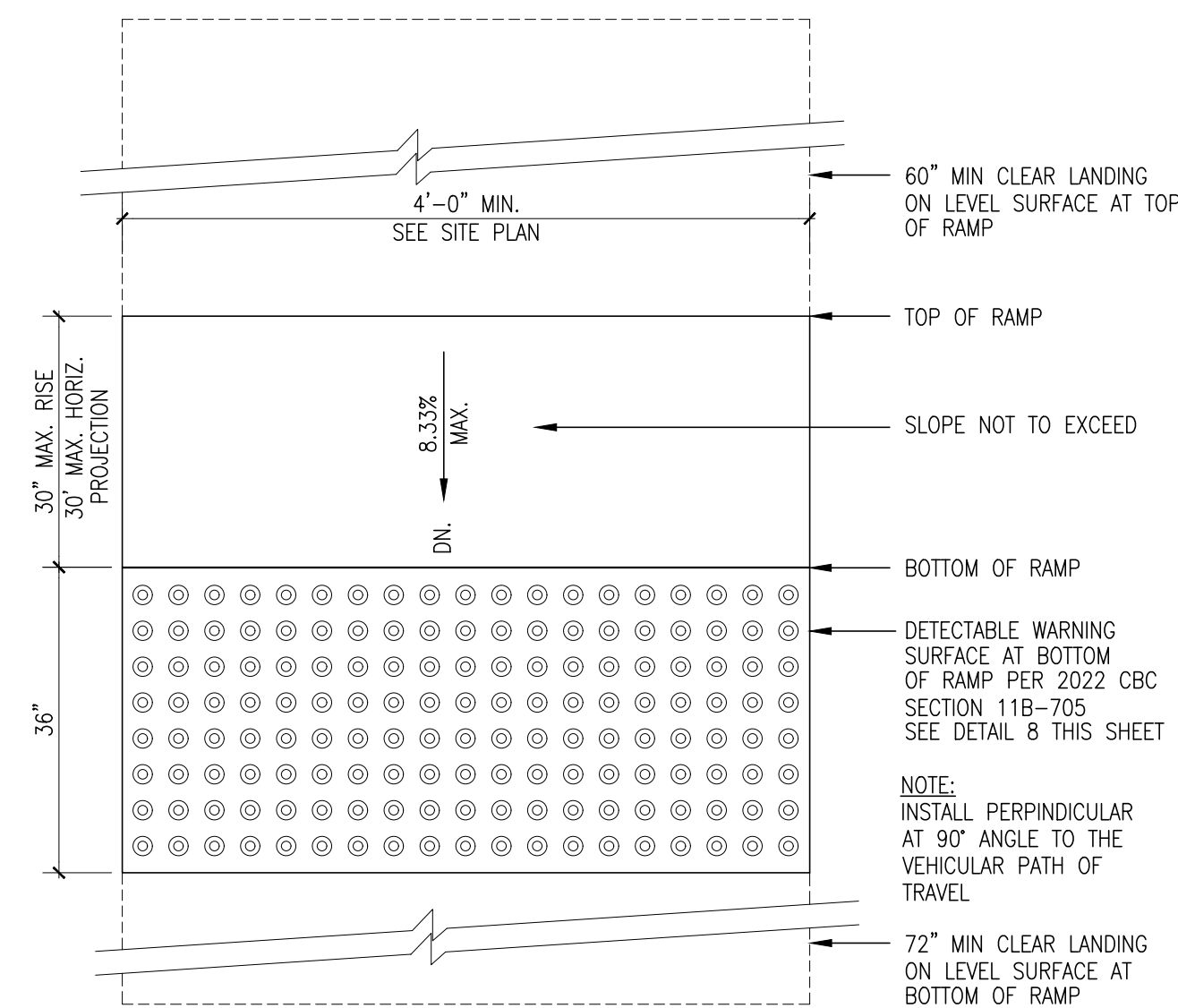


NOTES:  
1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ITS BACKGROUND SHALL HAVE A NON-GLARE FINISH.  
2. CHECK W/ THE LOCAL AUTHORITY HAVING JURISDICTION FOR REQUIREMENTS OTHER THAN THOSE SHOWN IN THIS DETAIL.

ACCESSIBLE SYMBOL AT ACCESSIBLE PARKING STALLS

SCALE: 1" = 1'-0"

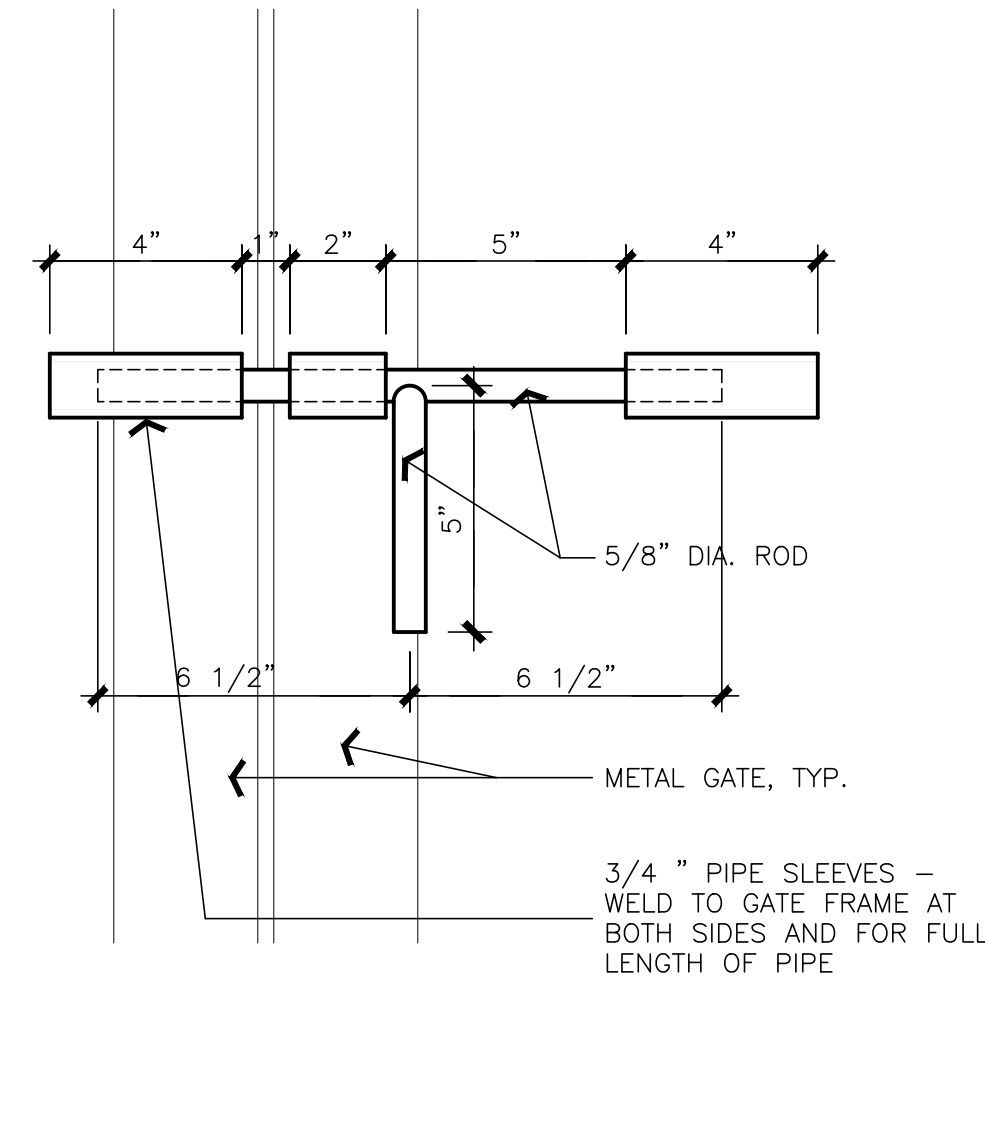
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TYPICAL RAMP DETAIL

SCALE: 1" = 1'-0"

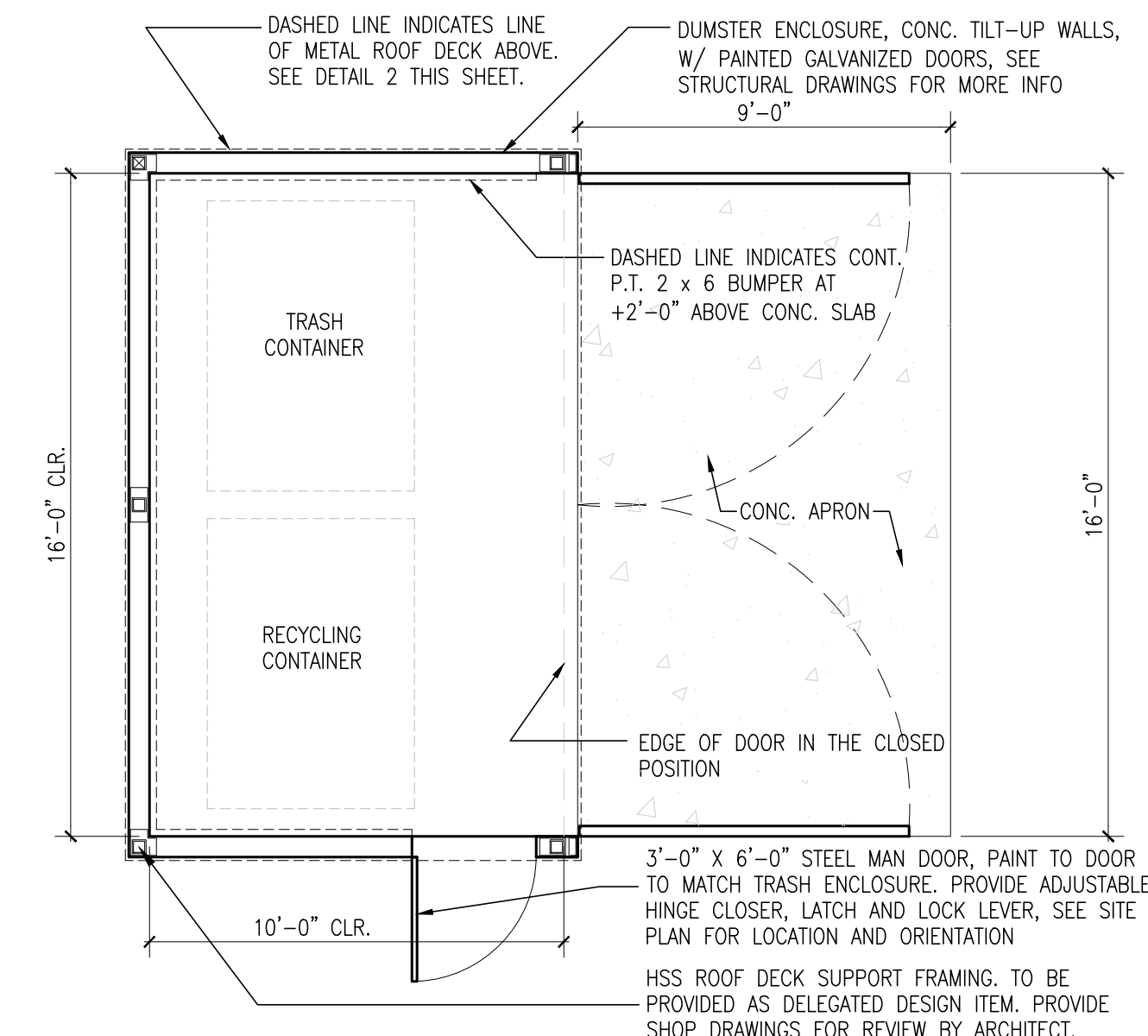
9



SIDE BOLT ELEVATION AT HEAD

SCALE: 3" = 1'-0"

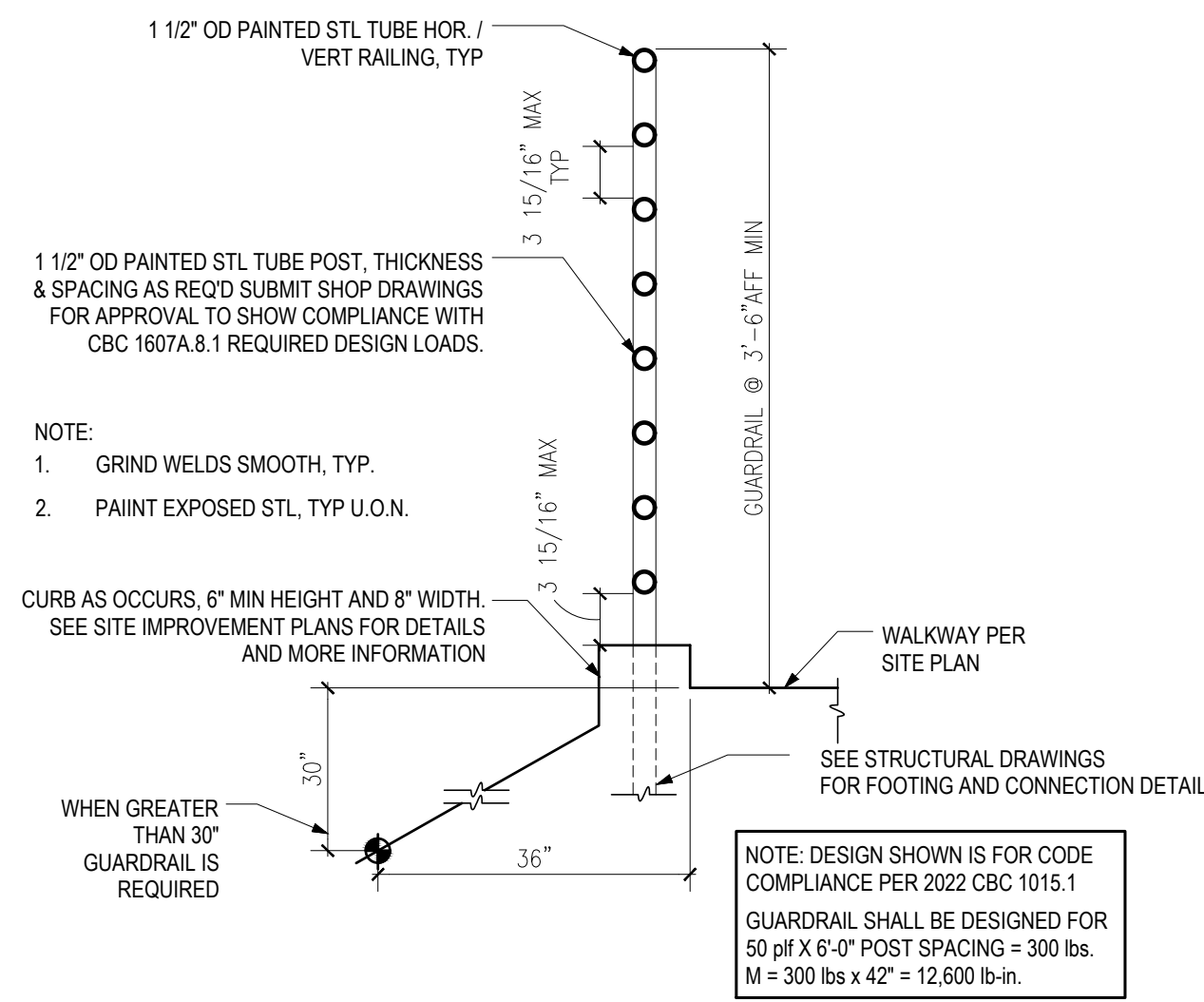
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DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

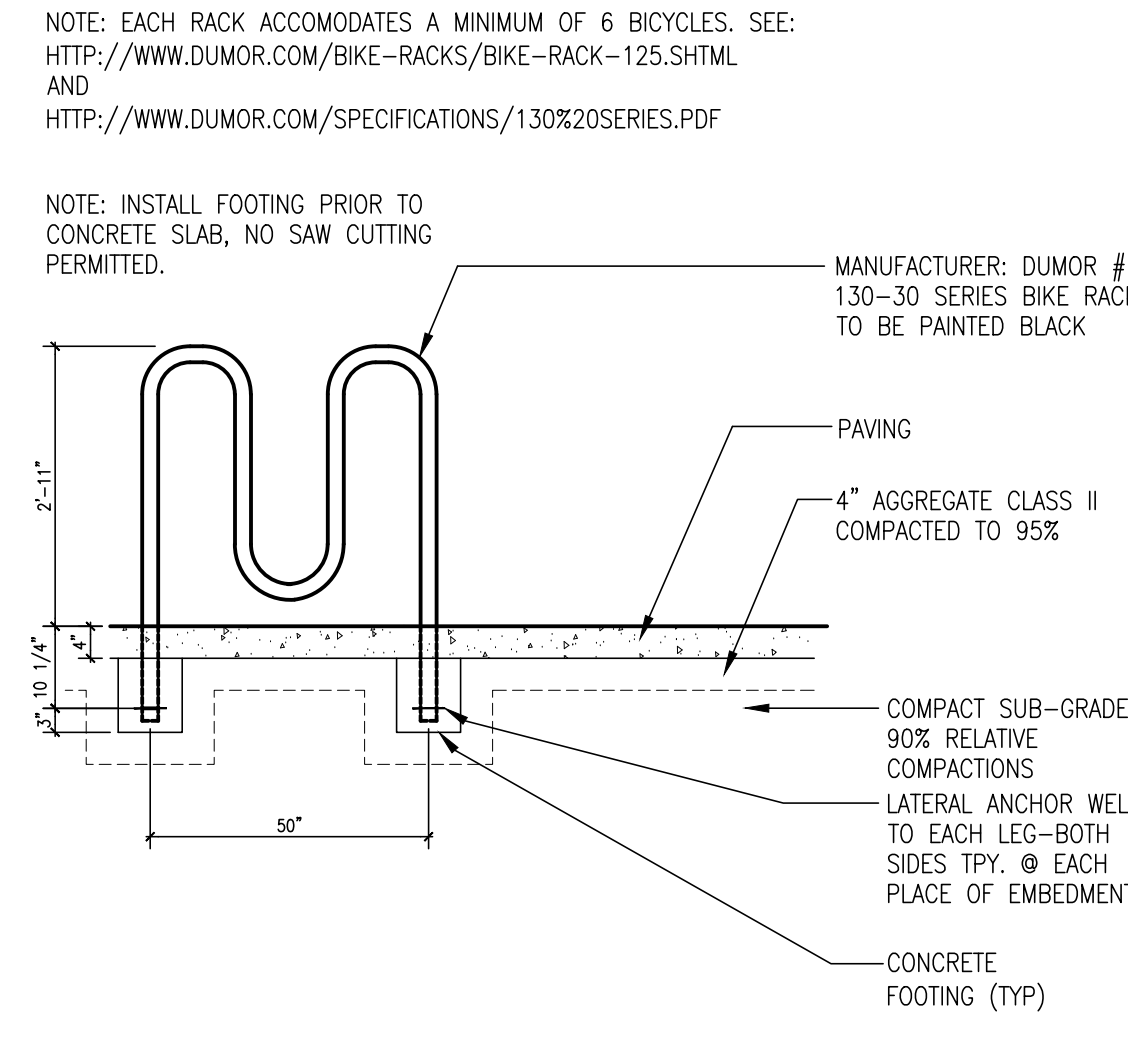
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GUARDRAIL

SCALE: 1" = 1'-0"

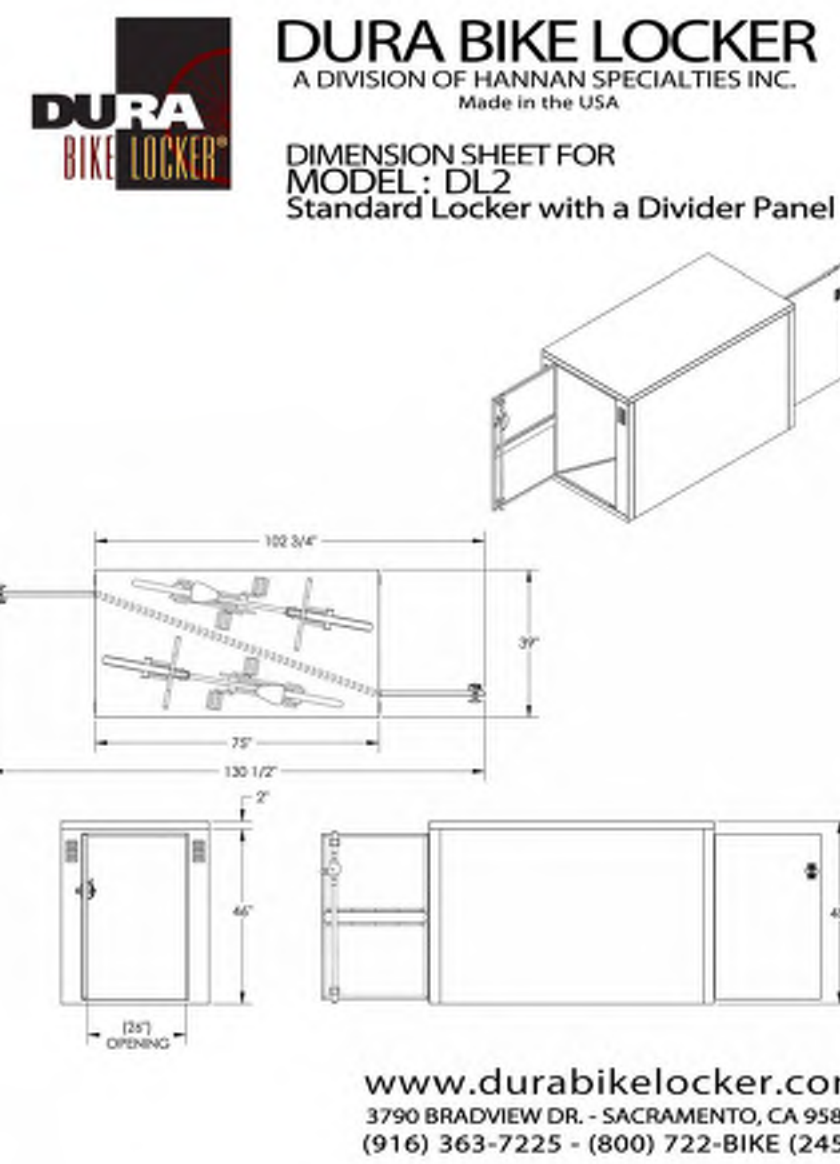
18



BIKE RACK

SCALE: 1/2" = 1'-0"

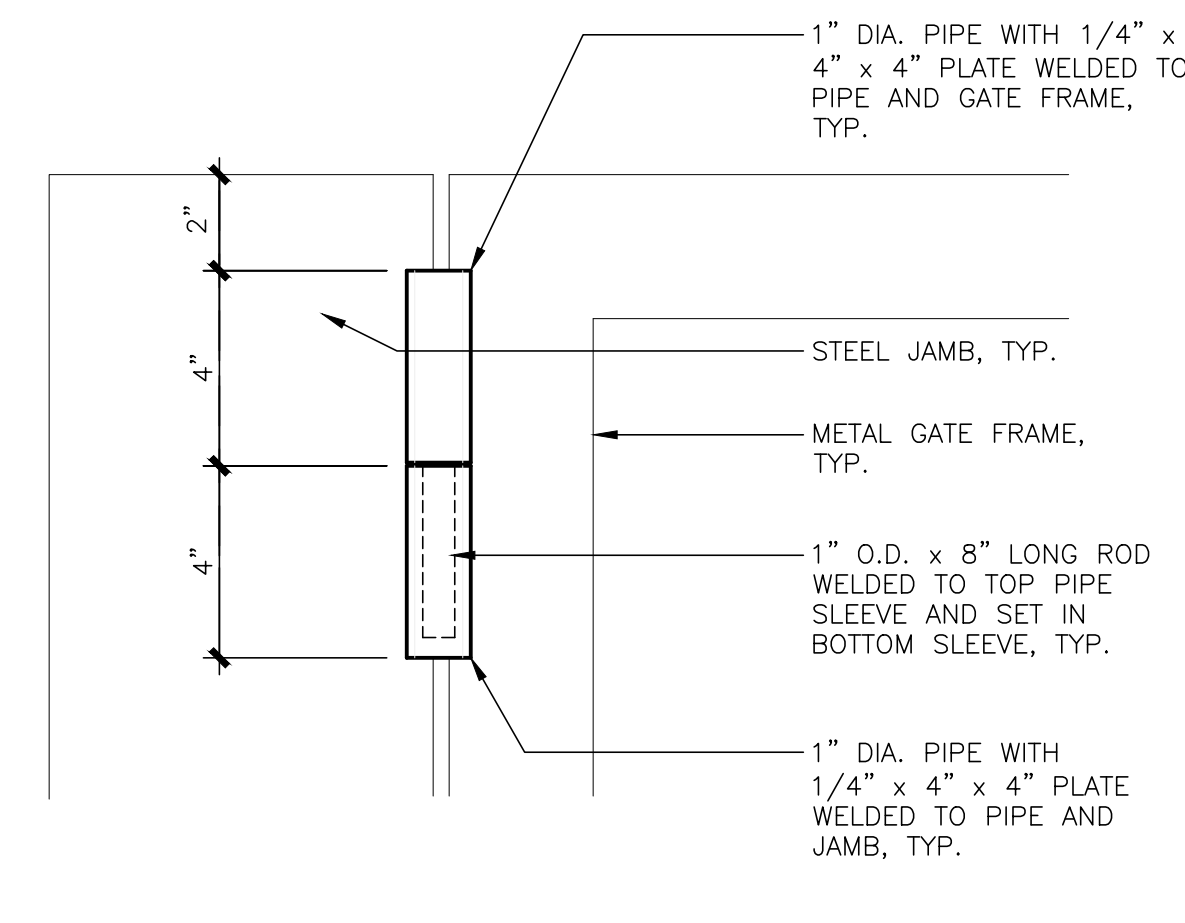
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BIKE STORAGE

SCALE: N.T.S.

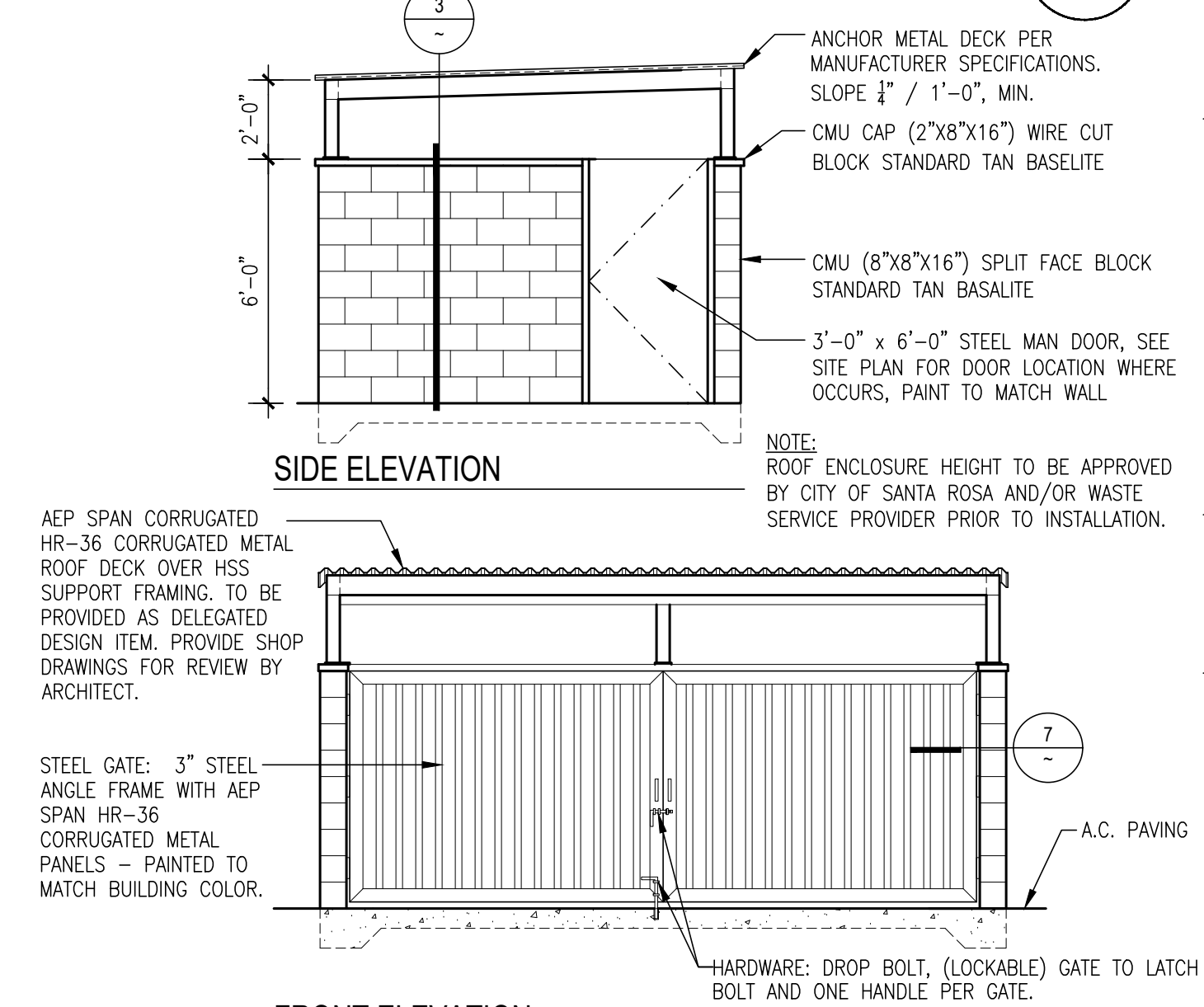
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HINGE ELEVATION, TYP.

SCALE: 3" = 1'-0"

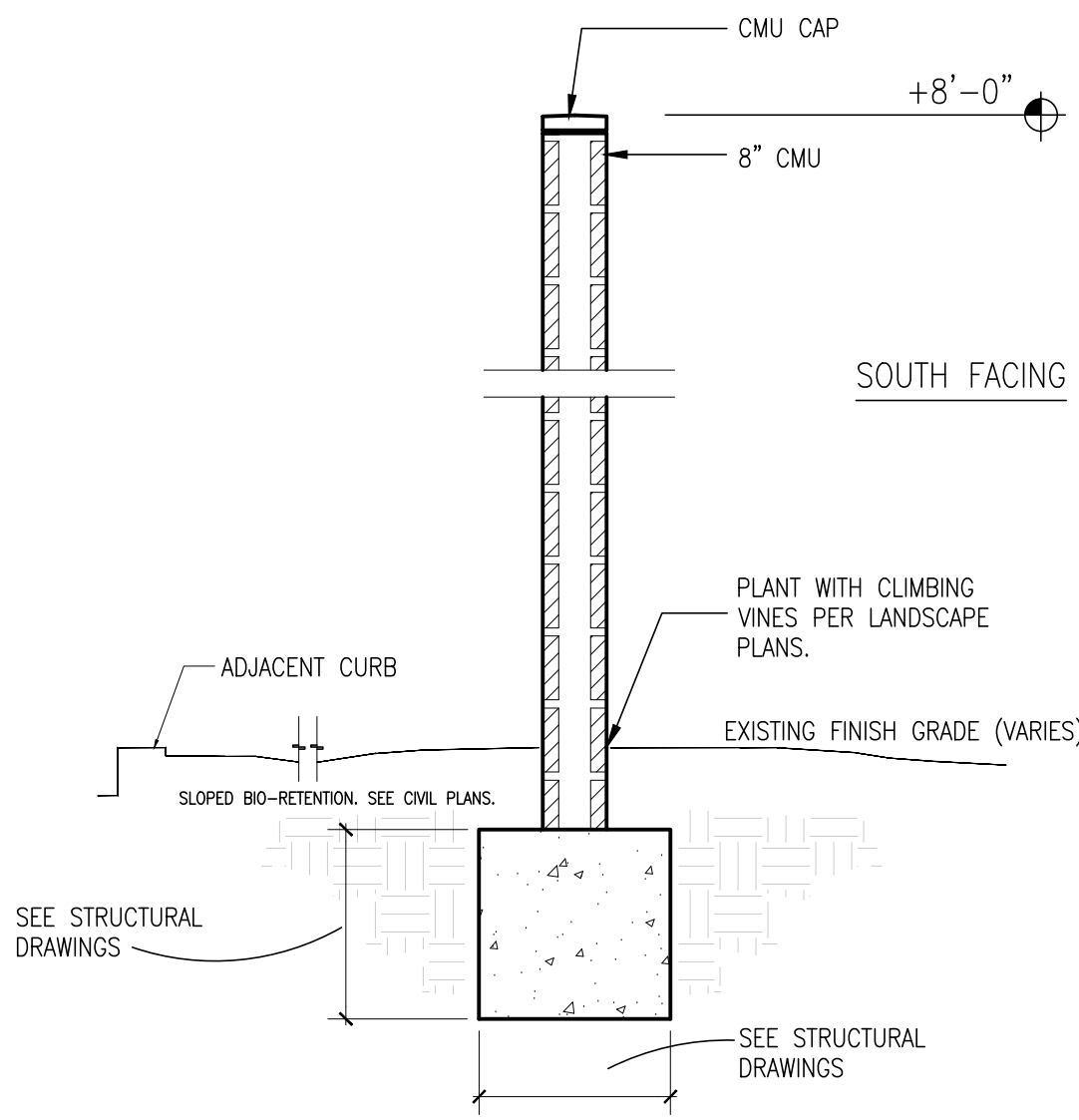
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DUMPSTER ELEVATIONS

SCALE: 1/4" = 1'-0"

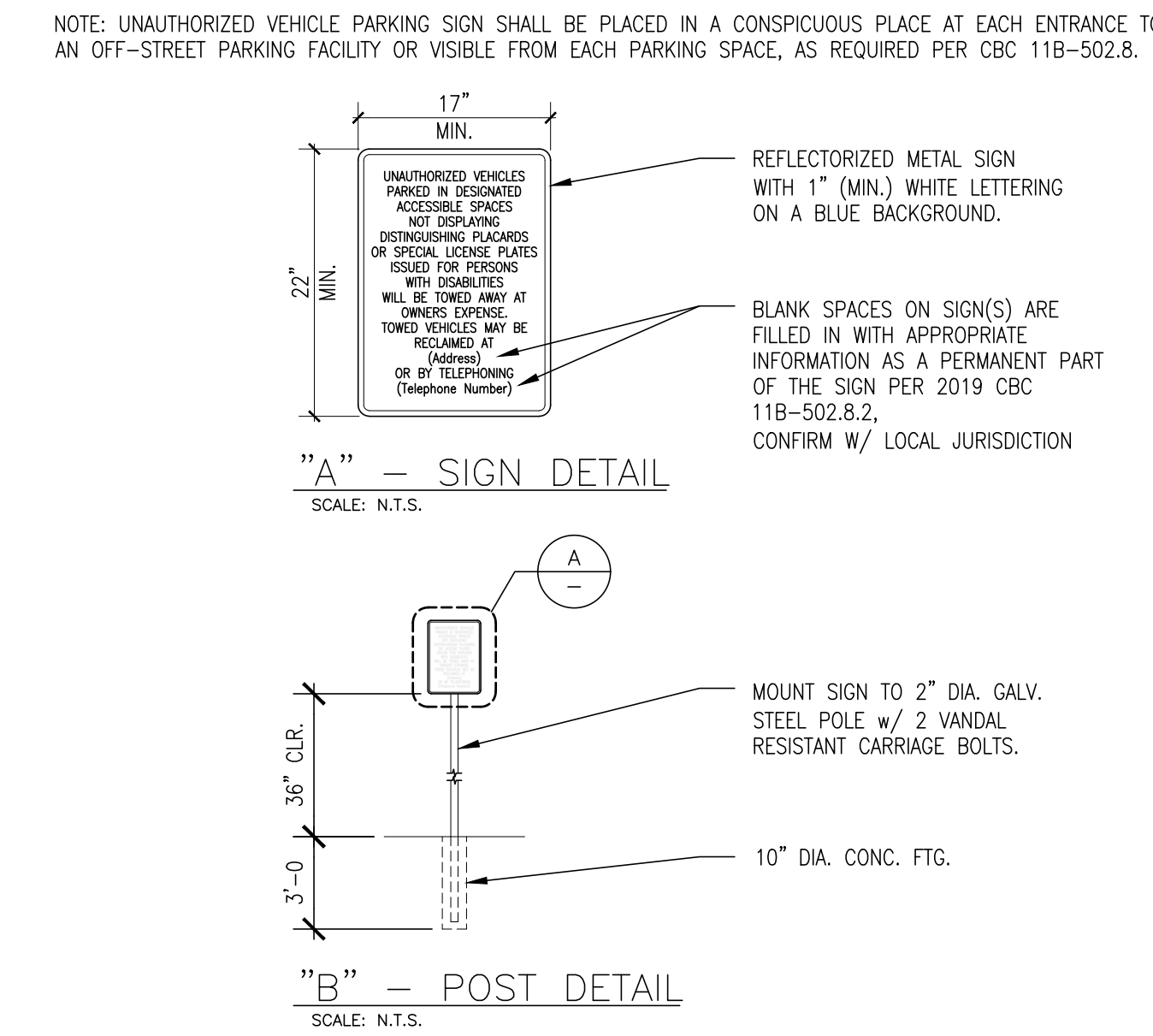
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SOUND WALL SECTION

SCALE: 1/2" = 1'-0"

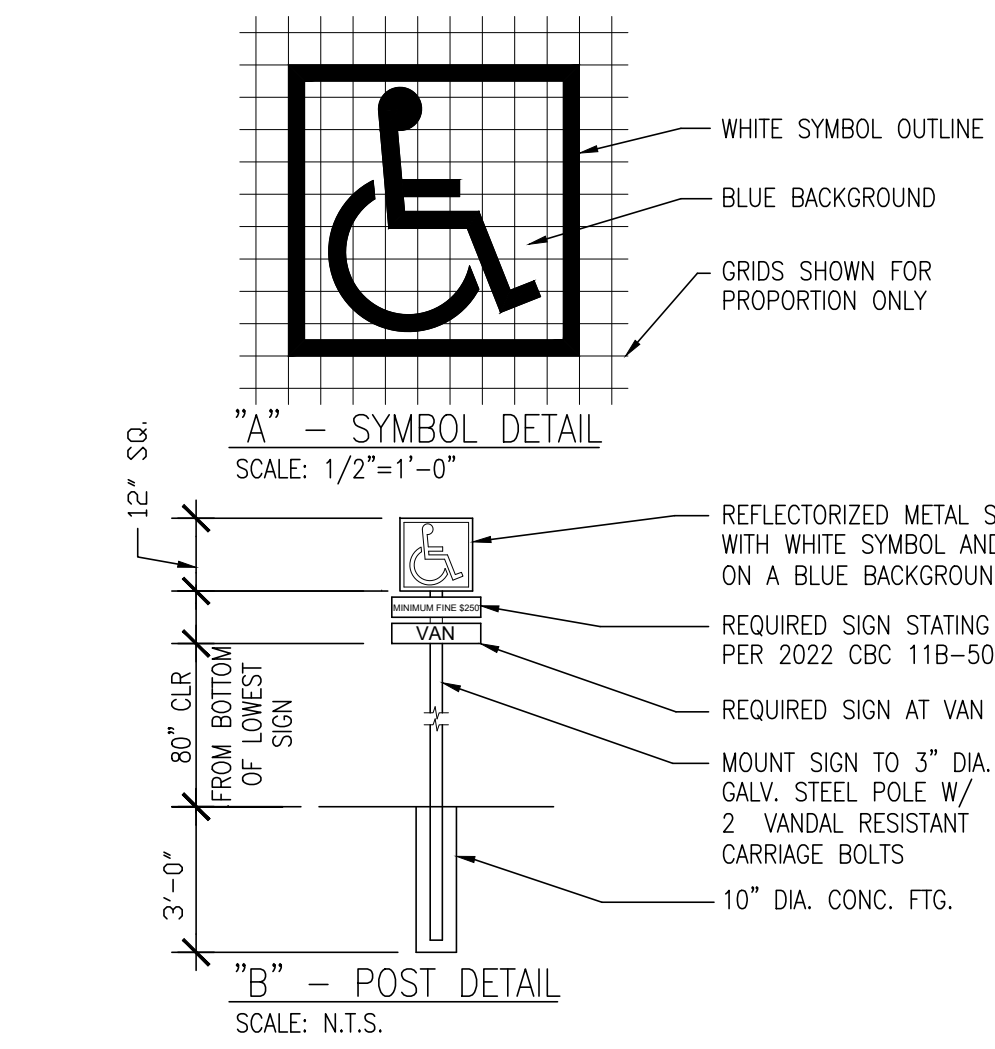
19



SITE ENTRY ACCESSIBLE SIGN

SCALE: 3/16" = 1'-0"

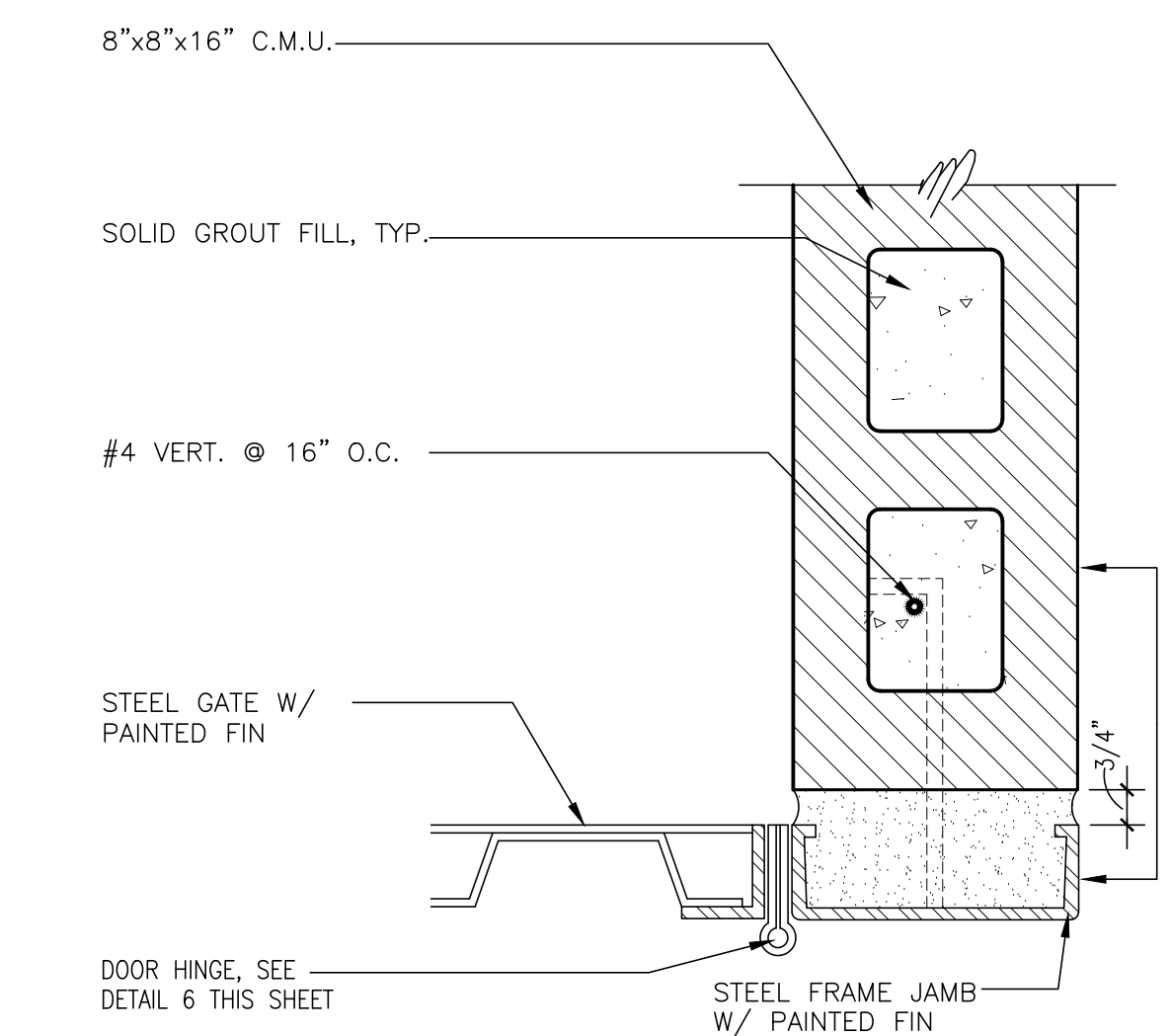
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SIGN AT ACCESSIBLE PARKING STALLS

SCALE: NO SCALE

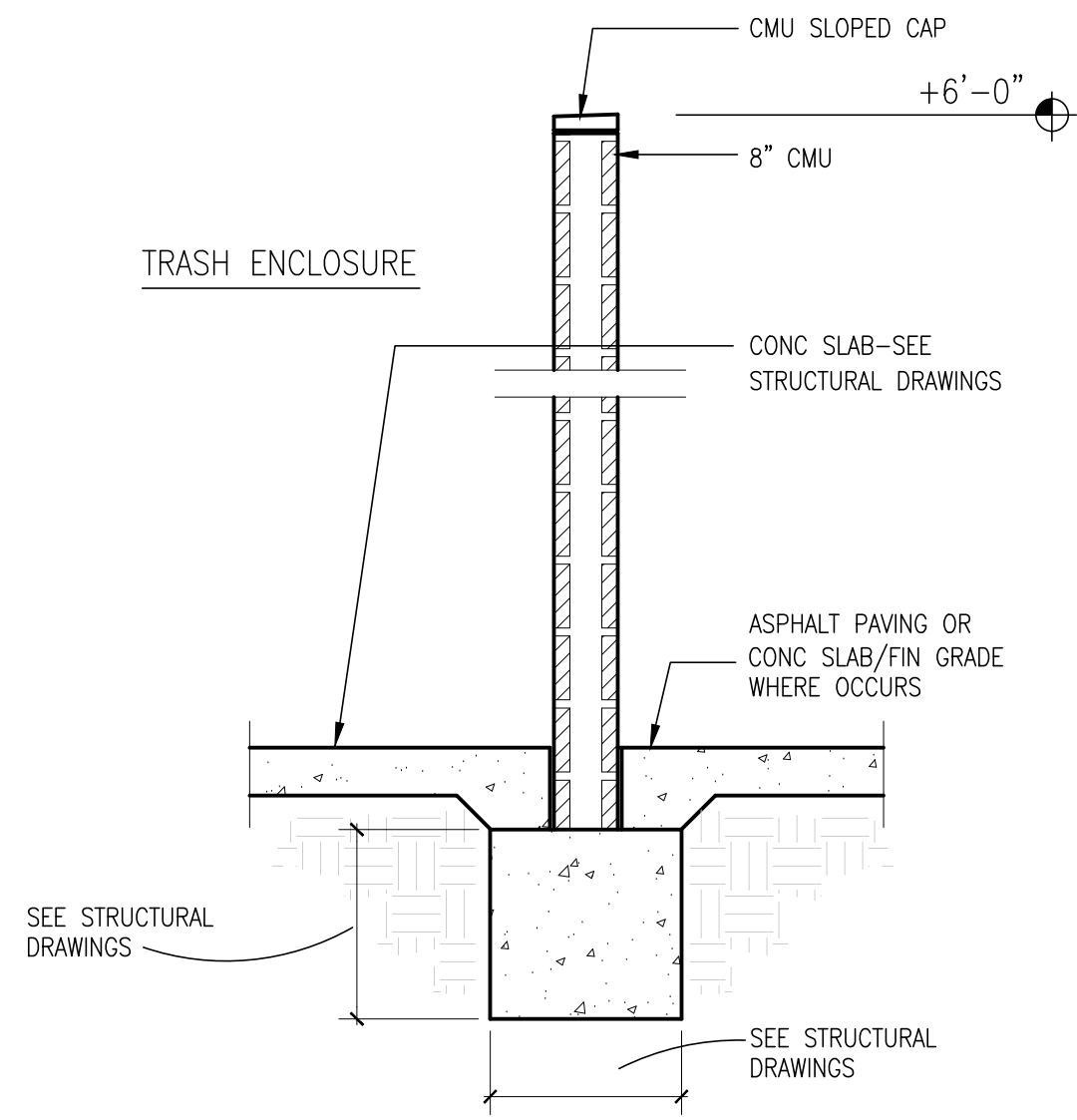
11



GATE JAMB

SCALE: 3" = 1'-0"

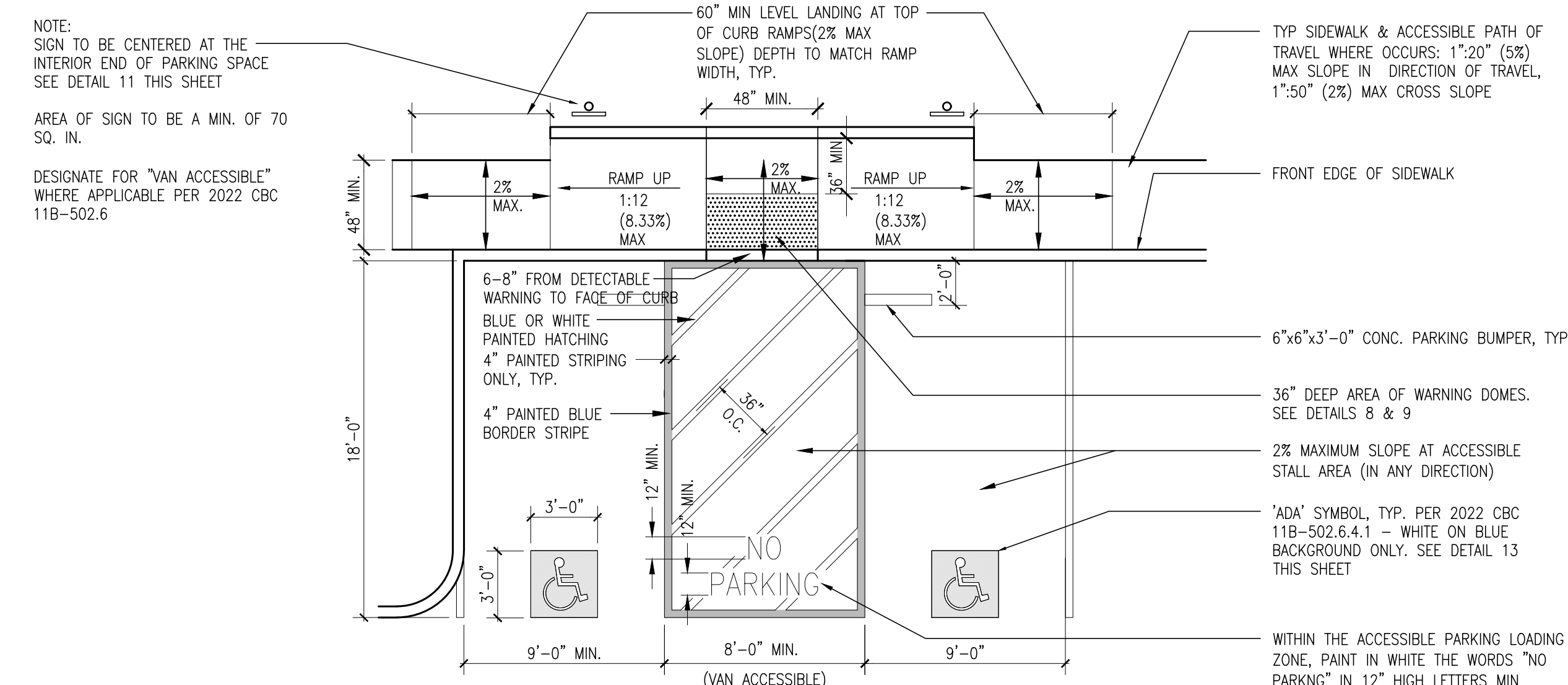
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TRASH ENCLOSURE WALL SECTION

SCALE: 1/2" = 1'-0"

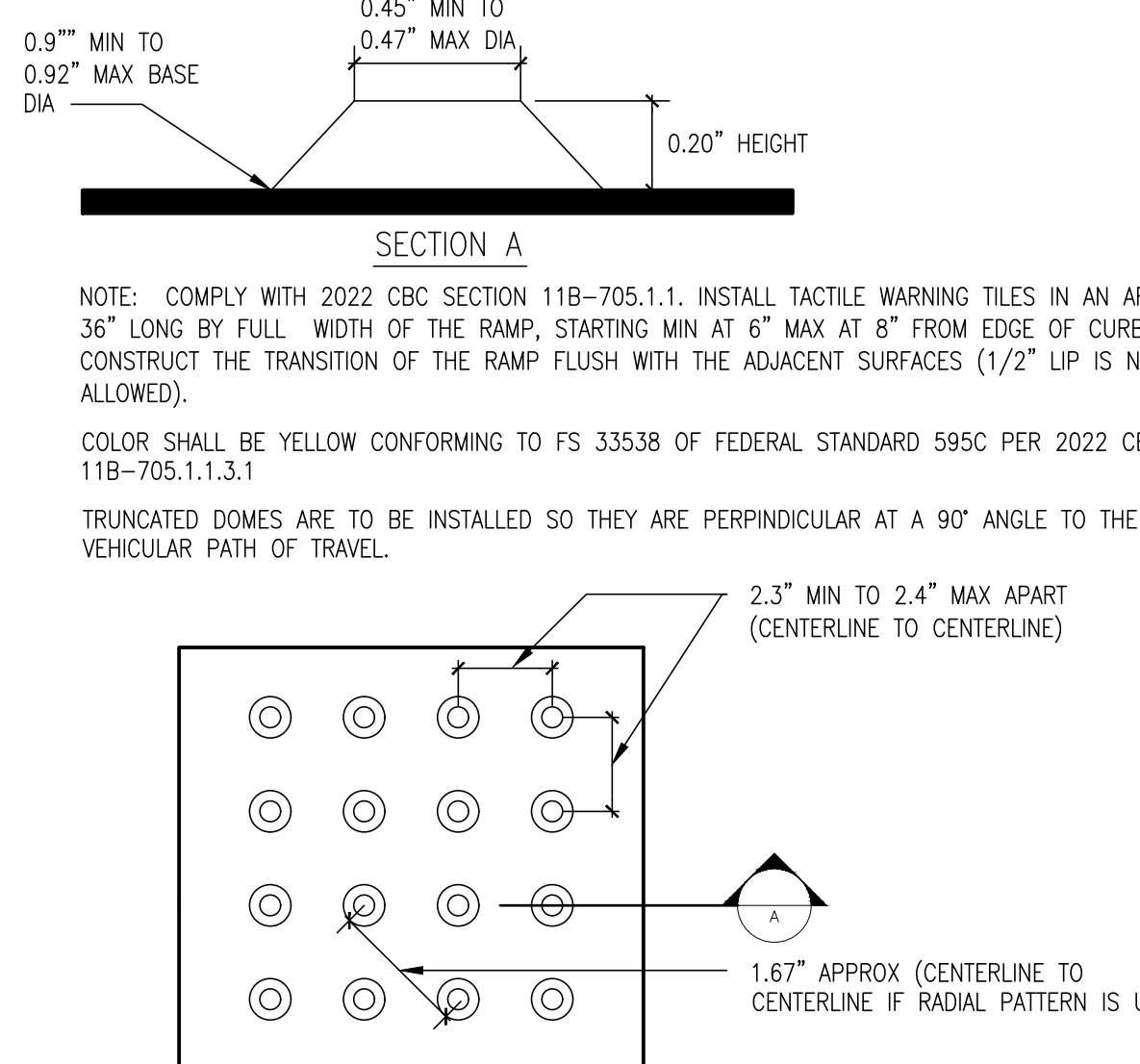
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DOUBLE ACCESSIBLE STALLS

SCALE: 3/16" = 1' - 0"

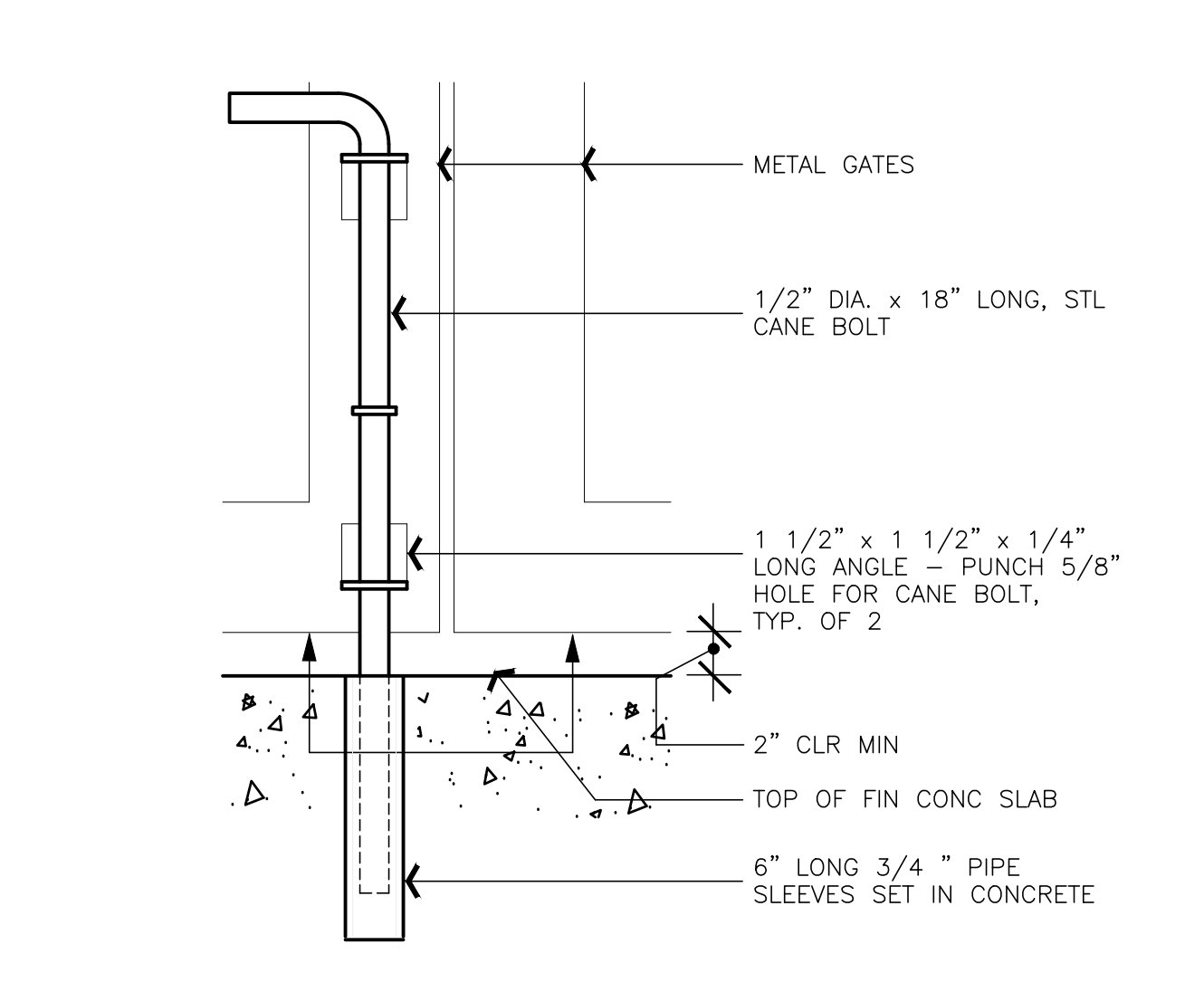
12



WARNING DOMES AT SITE RAMPS

SCALE: N.T.S.

8



CANE BOLT SECTION

SCALE: 3" = 1'-0"

4



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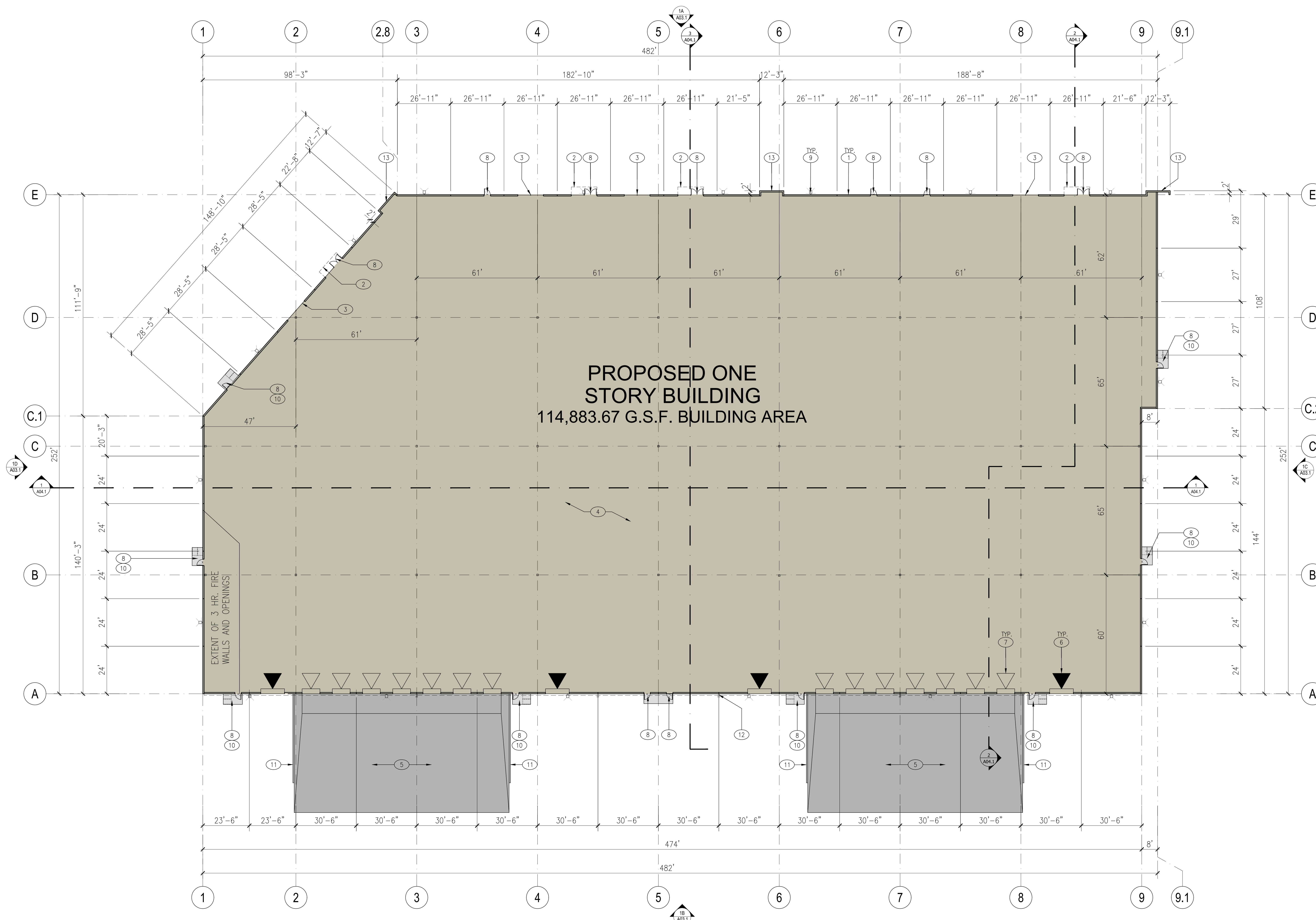
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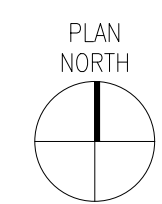
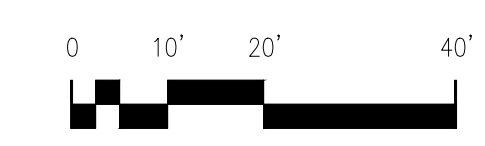
approved for the architect by:

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**PROPOSED ONE STORY BUILDING**  
114,883.67 G.S.F. BUILDING AREA

EXTENT OF 3 HR. FIRE WALLS AND OPENINGS!



**FLOOR PLAN**  
SCALE: 1" = 20'-0"

1

**KEYNOTES:**

- 1 TYPICAL EXTERIOR WALLS TO BE TILT-UP CONCRETE WITH REVEALS AND A MULTICOLORED TEXTURED ELASTOMERIC FINISH SYSTEM. SEE EXTERIOR ELEVATIONS, SHEETS A03.1
- 2 LINE OF ENTRY CANOPY ABOVE, SEE EXTERIOR ELEVATIONS, SHEETS A03.1
- 3 TINTED GLAZING IN ALUMINUM FRAMES
- 4 CONCRETE FLOOR SLAB
- 5 DEPRESSED CONCRETE TRUCK DOCK
- 6 12' X 14' GRADE LEVEL ROLL UP DOOR
- 7 9' X 10' DOCK LEVEL ROLL UP DOOR
- 8 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS
- 9 BUILDING WALL LIGHTS ABOVE, TYP. SEE PHOTOMETRIC DRAWINGS
- 10 DASH-DOT OUTLINE INDICATED AREA OF ASSISTED RESCUE
- 11 6" TALL X 8" WIDE CONCRETE CURB AT EACH SIDE OF TRUCK DOCK, PAINT GUARDRAIL "SAFETY YELLOW". SEE DETAIL 1B, SHEET A01.1.
- 12 CONTINUOUS GUTTERS AND DOWNSPOUTS, SEE EXTERIOR ELEVATIONS, SHEET A03.1
- 13 TILT-UP CONCRETE WING WALL. SEE EXTERIOR ELEVATIONS A03.1 FOR FINISH AND COLOR

drawn by: TLG plot date: 09-15-2021

checked by: AGUDL

stamp



scale: AS NOTED

project number: 2204025.00

**FLOOR PLAN**

sheet no.:

**A02.1**

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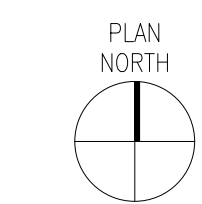
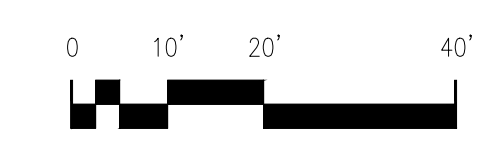
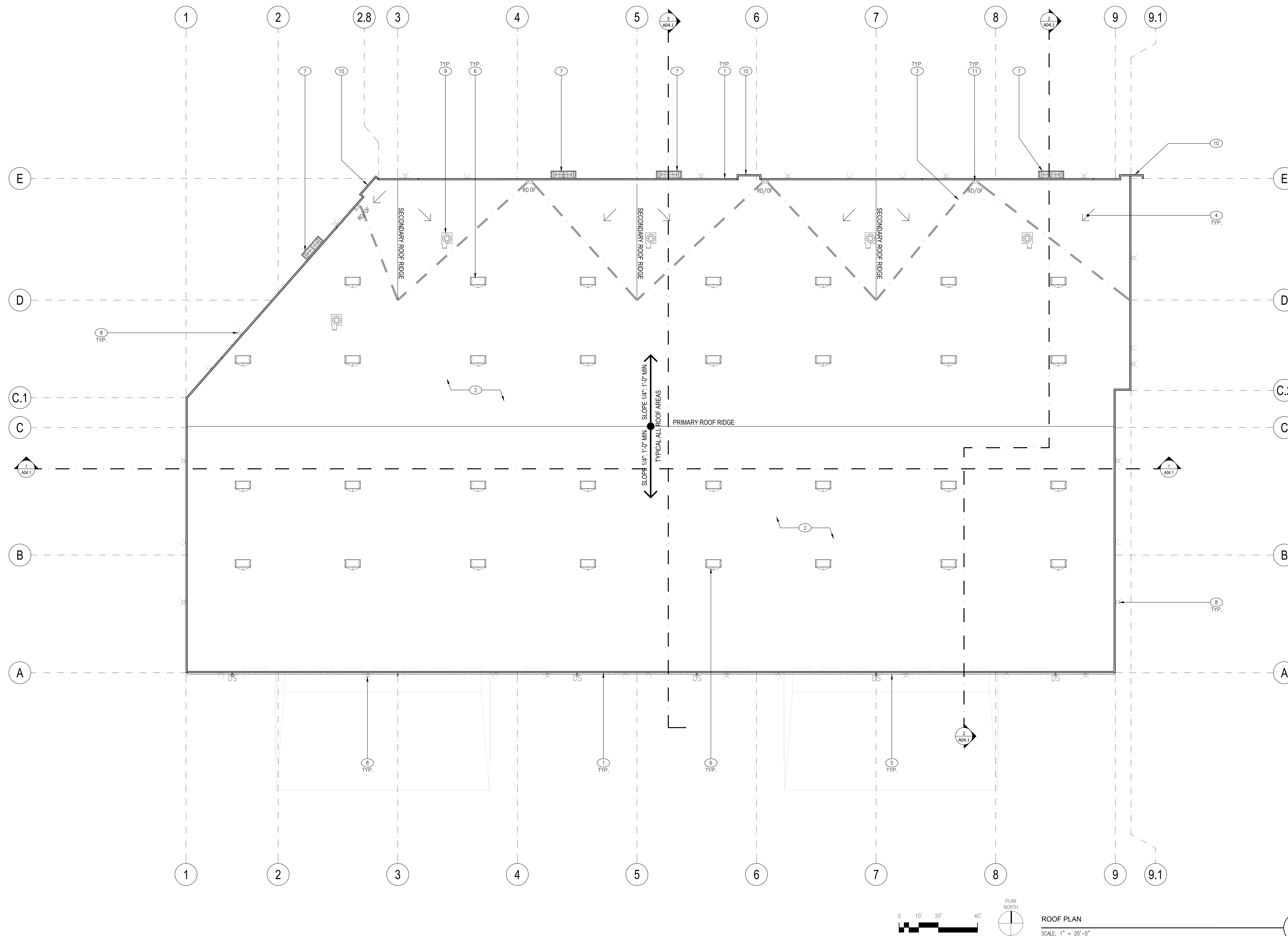
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**ROOF PLAN**  
SCALE: 1" = 20'-0"

1

**KEYNOTES:**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>1 LINE OF TYPICAL PARAPET WALL</li> <li>2 TYPICAL LOW SLOPE ROOF 1/4" PER 12" MIN. SLOPE. ROOF ASSEMBLY CONSISTS OF A TPO SINGLE PLY SYSTEM OVER 1/2" STRUCTURAL SHEATHING OVER SLOPED STRUCTURAL FRAMING.</li> <li>3 THICK DASHED GRAY LINE INDICATES WARPED ROOF AREA</li> <li>4 INDICATES DIRECTION OF ROOF SLOPE</li> <li>5 CONTINUOUS METAL GUTTER AND DOWNSPOUTS. PAINT TO MATCH ADJACENT BUILDING. SEE EXTERIOR ELEVATIONS FOR FINISH COLOR</li> <li>6 INDICATES LOCATION OF 4' X 8' SELF-DURRING DUAL DOME SKYLIGHT. PROVIDE SHAPED FOAM CRICKET AT HIGH SIDE(S) OF SKYLIGHT CURB TO PROVIDE SLOPE FOR DRAINAGE</li> <li>7 ENTRY STEEL CANOPY BELOW. SEE EXTERIOR ELEVATIONS, SHEET A03.1 FOR FINISHES.</li> <li>8 EXTERIOR LED WALL LIGHTS. SEE SHEET A03.1</li> </ul> | <ul style="list-style-type: none"> <li>9 POTENTIAL LOCATION OF FUTURE ROOF MOUNTED HVAC EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE DETERMINED AT TIME OF TENANT IMPROVEMENTS AND SHALL BE SCREENED FROM VIEW BY NATURE OF ITS PLACEMENT OR BY A FUTURE MECHANICAL SCREEN.</li> <li>10 EXTERIOR TILT-UP CONCRETE ACCENT WALL. SEE SHEET EXTERIOR ELEVATIONS, SHEET A03.1.</li> <li>11 INTERNAL ROOF AND ROOF-OVERFLOW DRAINS</li> </ul> |
|--|--|

drawn by : TLG plot date : 09-15-2021

checked by : AG/IDL

stamp



scale : AS NOTED

project number : 2204025.00

**ROOF PLAN**

sheet no. :

**A02.2**

CLIENT:

**McNeill Real Estate Services**  
Joseph A McNeill, III

916 718 5659  
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

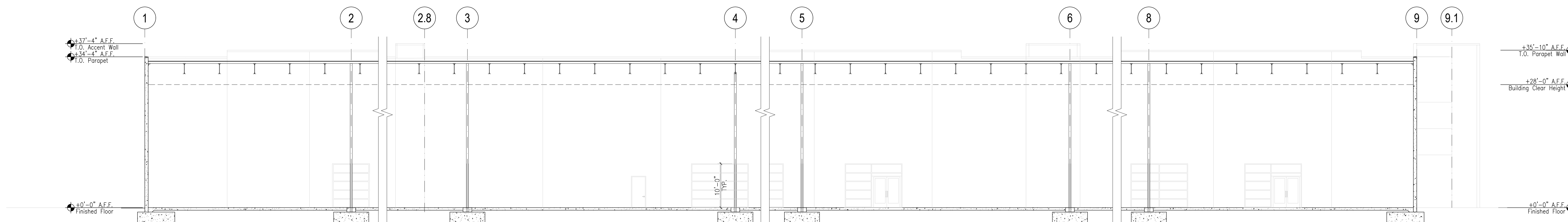
## NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

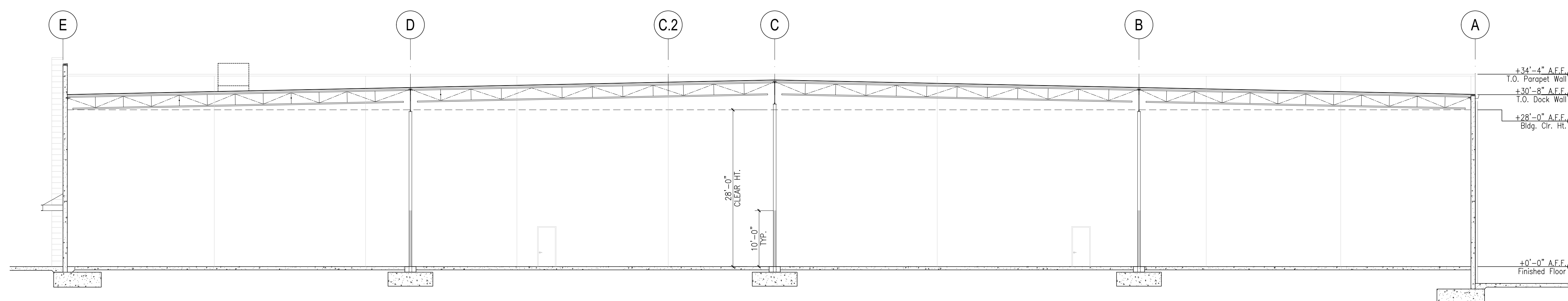
issue	description	date
A	ISSUED FOR REVIEW	09-15-2023



PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

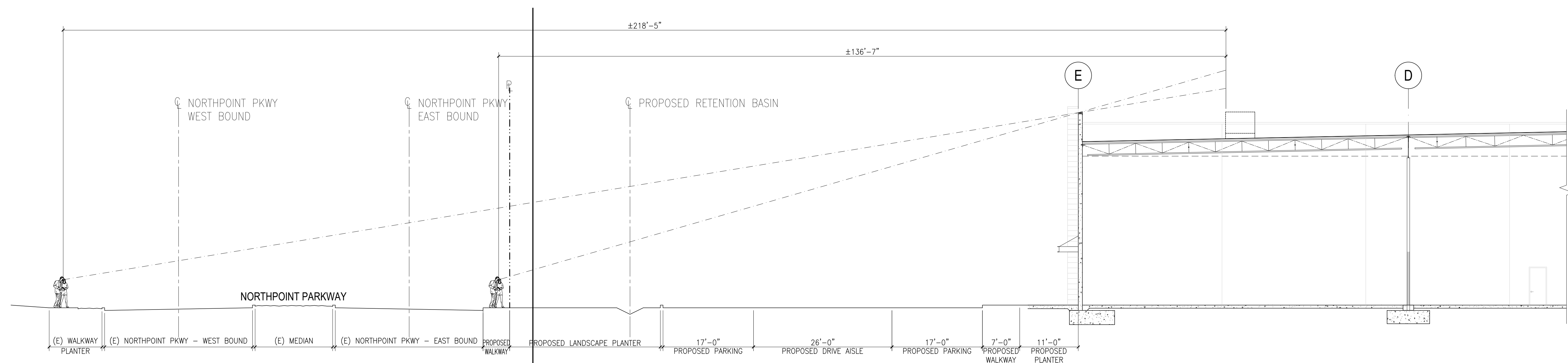
1



PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

2



LINE OF SIGHT SECTION @ NORTHPOINT PARKWAY

SCALE: 1" = 10'-0"

3

drawn by: TLG plot date: 09-15-2023

checked by: AGUDL

stamp



scale: AS NOTED

project number: 2204025.00

### BUILDING SECTIONS/ LINE OF SIGHT SECTION

sheet no.:

CLIENT:

**McNeill Real Estate Services**  
Joseph A McNeill, III

916 718 5659  
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

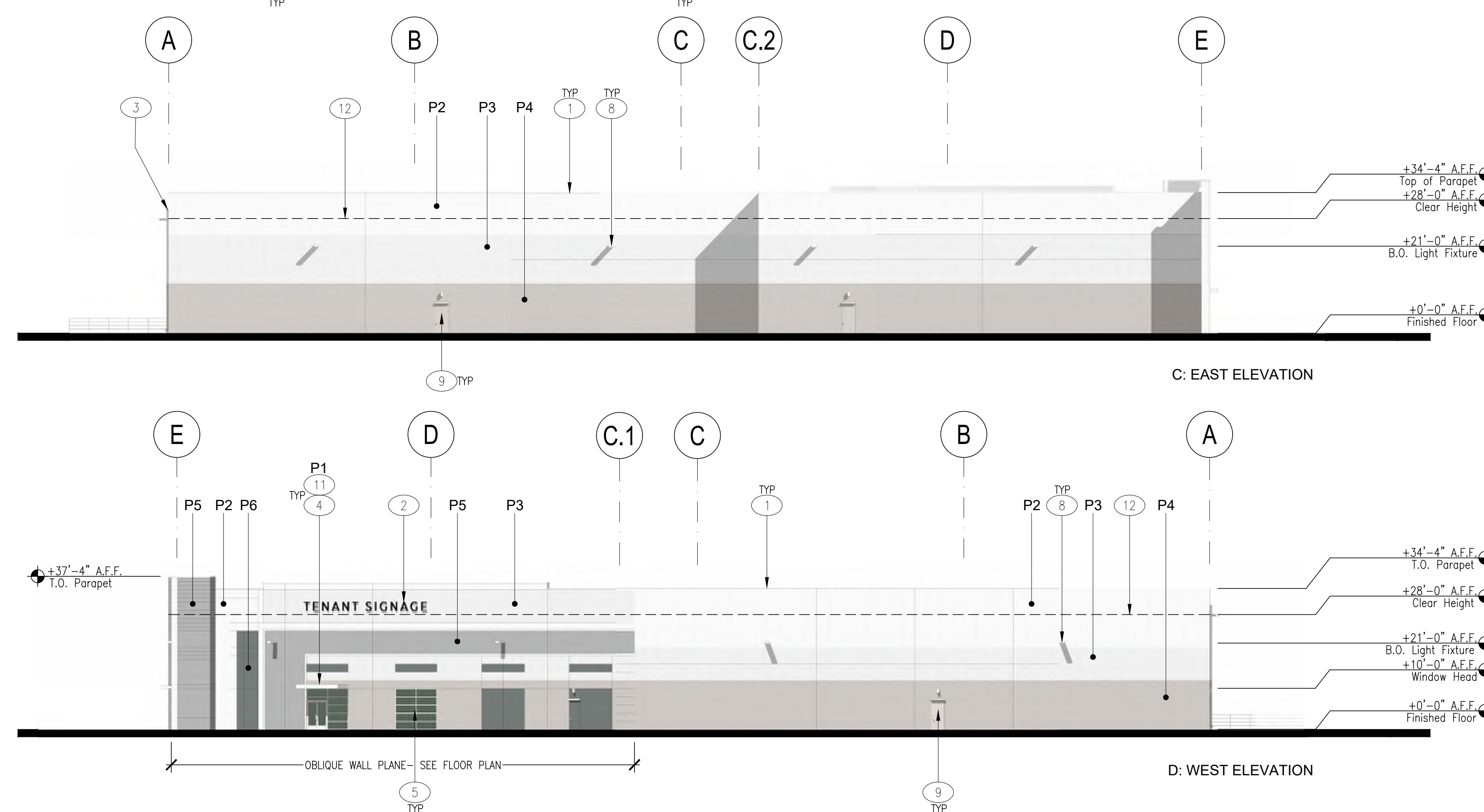
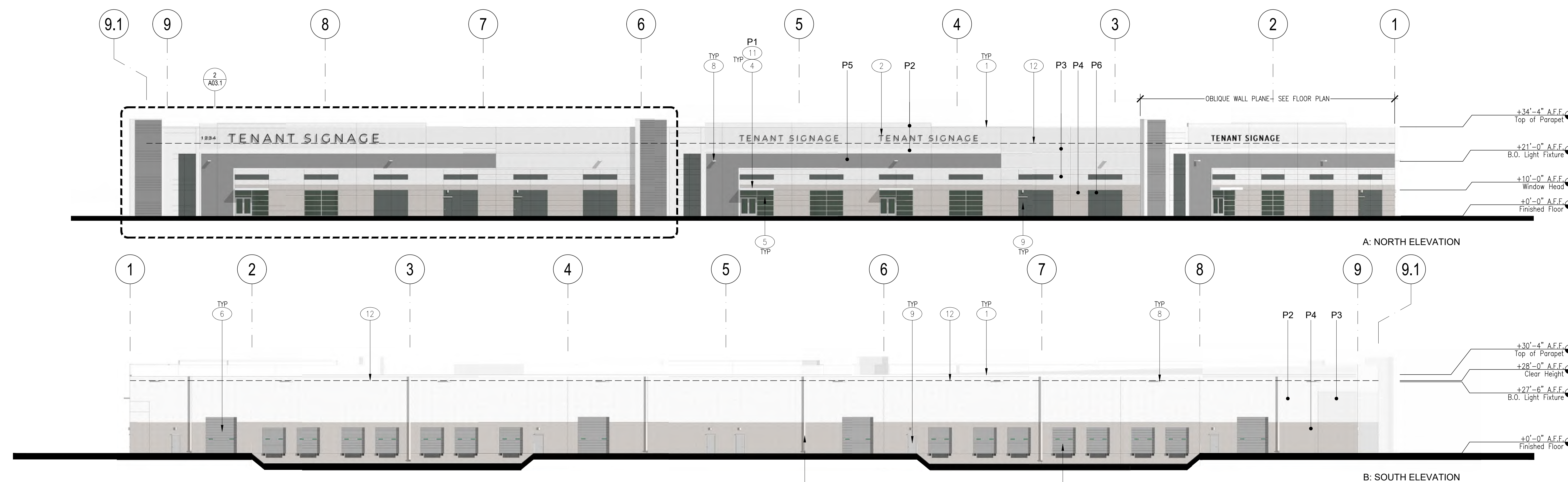
**NORTHPOINT COMMERCE CENTER**

NORTHPOINT PARKWAY AT THUNDERBOLT WAY  
SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

issue :	description :	date :
A	ISSUED FOR REVIEW	09-15-2023



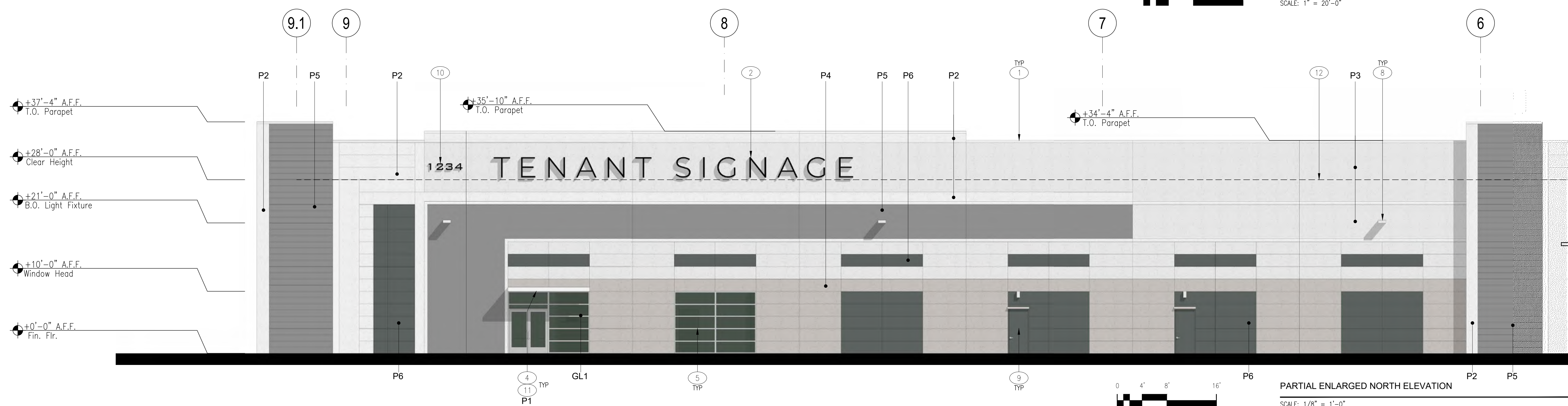
**KEYNOTES:**

- 1 TYPICAL SITE CAST, CONCRETE TILT-UP PANELS WITH 3/4" REVEALS AND A MULTI COLOR TEXTURED COATING SYSTEM.
- 2 TENANT SIGNAGE UNDER SEPARATE PERMIT.
- 3 CONTINUOUS GUTTER AND SURFACE MOUNTED DOWNSPOUTS.
- 4 12" THICK x 3'-11" DEEP PAINTED STEEL CHANNEL CANOPIES, 3 TOTAL. PAINT AS SPECIFIED. TYPICAL AT MAIN ENTRANCE STOREFRONT OPENINGS.
- 5 TYPICAL WINDOW SYSTEM: DUAL PANE GLAZING IN 2" x 4" (NOMINAL) THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. OUTER GLAZING PANE TO BE TINTED WITH LOW-E COATING ON INTERIOR SURFACE. INNER PANE CLEAR FLOAT. STOREFRONT DOORS WHERE SHOWN. 4 STOREFRONT LOCATIONS TOTAL.
- 6 12' X 14' GRADE LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
- 7 9' X 10' DOCK LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
- 8 EXTERIOR WALL PACK LIGHTING. SEE PHOTOMETRIC DRAWINGS.
- 9 3' X 7' STEEL MAN DOOR WITH EMERGENCY LIGHT FIXTURE CENTERED OVER DOOR. SEE PHOTOMETRIC PLAN FOR FIXTURE TYPE. PAINT DOOR TO MATCH ADJACENT WALL COLOR.
- 10 ADDRESS SIGNAGE UNDER SEPARATE PERMIT AND SHALL MEET BUILDING, FIRE AND SHERIFF DEPT REQUIREMENTS.
- 11 CANOPY LIGHTING, SEE PHOTOMETRIC DRAWINGS.
- 12 DASHED LINE INDICATES INTERNAL CLEAR HEIGHT. SEE ELEVATIONS FOR HEIGHT.

**FINISH LEGEND:**

- |  |  |
|--|--|
| P1: PAINT 1<br>SHERWIN WILLIAMS<br>SW7757 HIGH REFLECTIVE<br>WHITE   | P2: PAINT 2<br>SHERWIN WILLIAMS<br>SW7006 EXTRA WHITE  |
| P3: PAINT 3<br>SHERWIN WILLIAMS<br>SW7646 FIRST STAR   | P4: PAINT 4<br>SHERWIN WILLIAMS<br>SW7016 MINDFUL GRAY |
| P5: PAINT 5<br>SHERWIN WILLIAMS<br>SW7670 GRAY SHINGLE   | P6: PAINT 6<br>SHERWIN WILLIAMS<br>SW6208 PEWTER GREEN |
| GL1: VITRO ARCHITECTURAL<br>GLASS "ATLANTICA"<br>EMERALD GREEN GLASS<br>IN THERMALLY BROKEN<br>CLEAR ANODIZED<br>ALUMINUM FRAMES |  |

EXTERIOR ELEVATIONS  
SCALE: 1" = 20'-0"



PARTIAL ENLARGED NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

sheet no.:

A03.1





**PROJECT INFORMATION**

PROJECT ADDRESS: 1408 THUNDERBOLT WAY  
SANTA ROSA, CA 95407

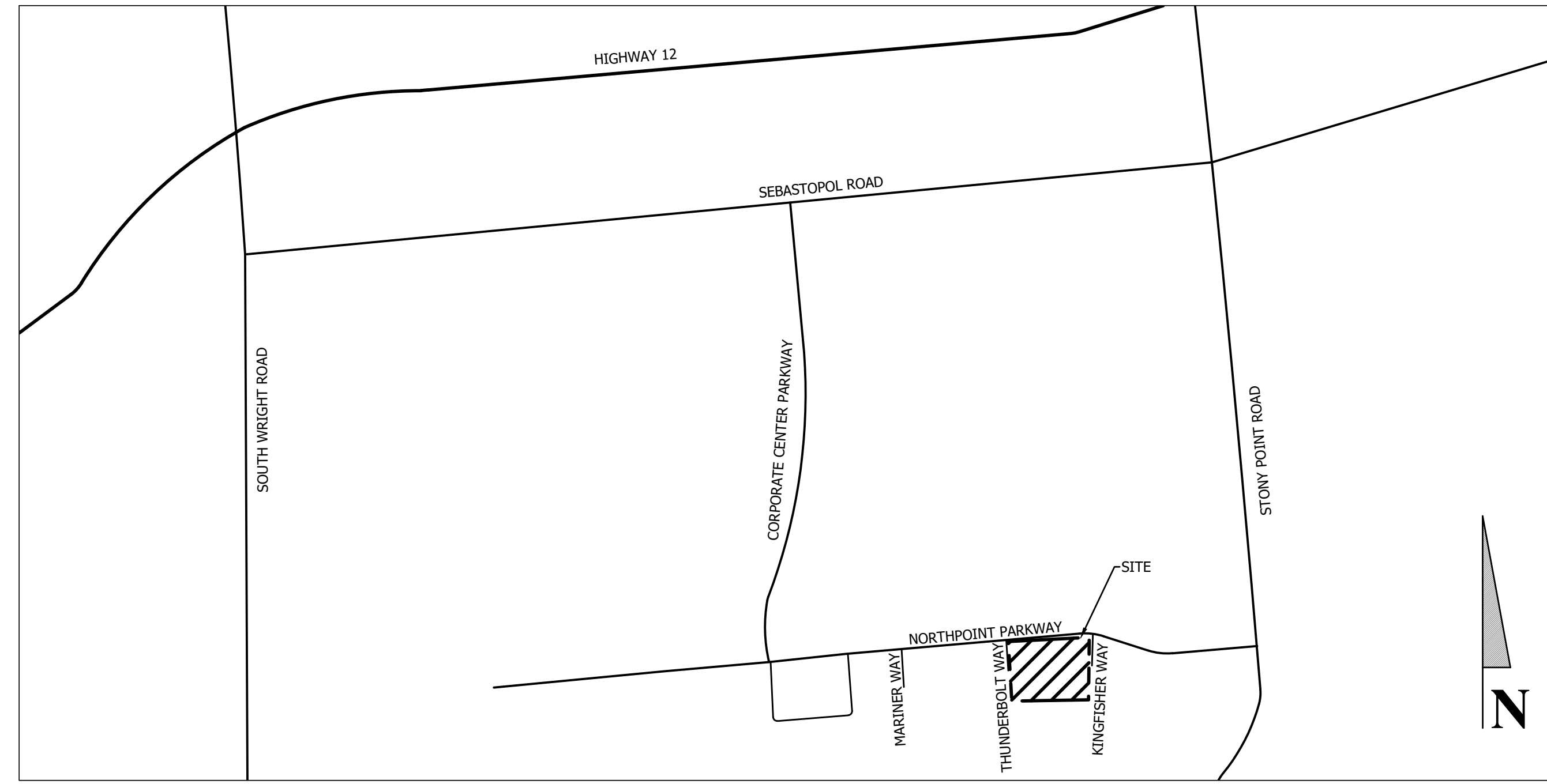
OWNER/DEVELOPER: MCNEILL REAL ESTATE SERVICES, INC.  
C/O: JOSE MCNEILL  
5254 TAPESTRY COURT,  
FAIRFIELD, CA 94534  
(916) 719-5659

CIVIL ENGINEER: THOMAS J. BILLETTER, P.E.  
BC ENGINEERING GROUP, INC.  
418 B STREET, THIRD FLOOR  
SANTA ROSA, CA 95401  
(707) 542-4321

SURVEYOR: CINQUINI & PASSARINO, INC  
1360 NORTH DUTTON AVENUE #150  
SANTA ROSA, CA 95401  
(707) 542-2106

AREA: 6.80 ACRES

**DESIGN REVIEW DRAWINGS FOR  
NORTHPOINT COMMERCE CENTER**  
C/O JOSE MCNEILL - (916) 718-5659  
THUNDERBOLT WAY, SANTA ROSA, CA 95407  
APN: 035-530-023, -024, -025, -057



VICINITY MAP  
NTS

**SHEET INDEX**

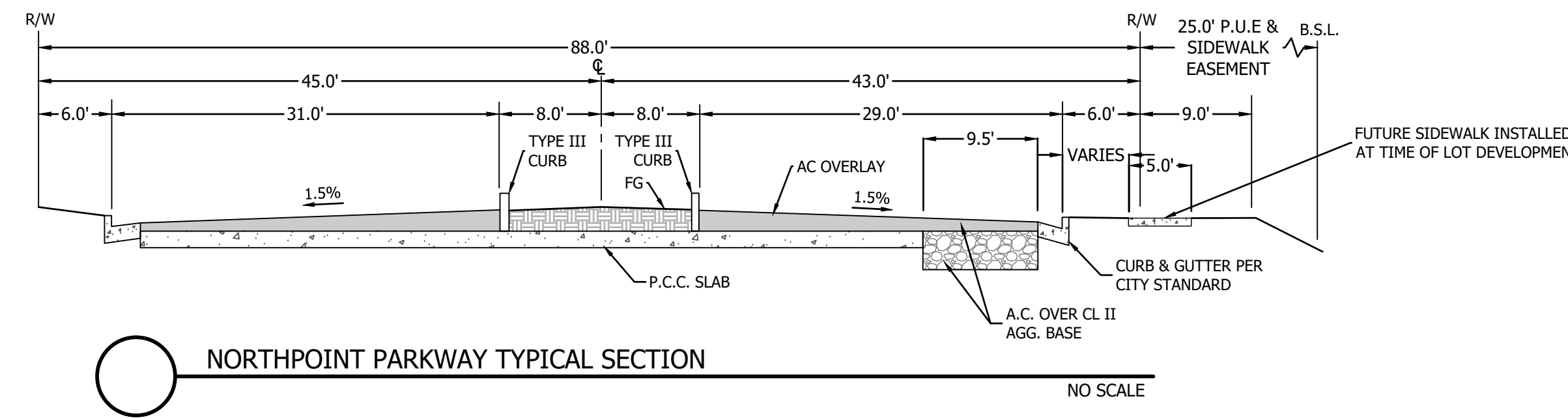
- C1.0 PROJECT INFO
- C1.1 GRADING AND DRAINAGE PLAN
- C1.2 SITE CROSS SECTIONS
- C1.3 UTILITY PLAN

**ABBREVIATIONS**

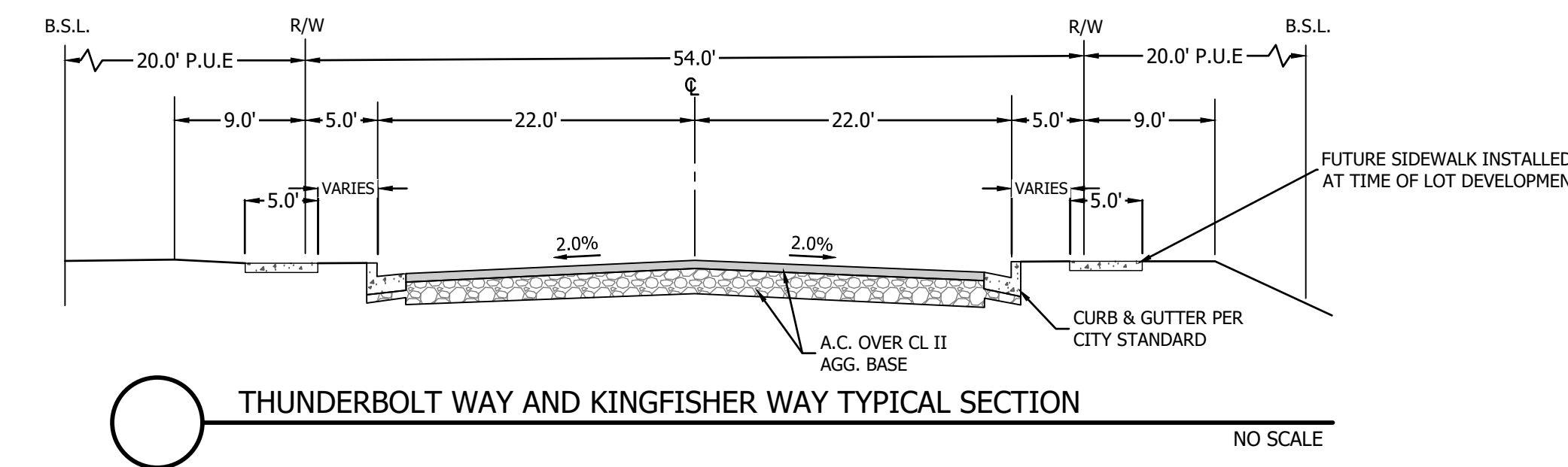
AB	AGGREGATE BASE	GSL	GARAGE SETBACK LINE
AC	ASPHALT CONCRETE	GR	GRATE ELEVATION
APN	ASSESSOR'S PARCEL NUMBER	HP	HIGH POINT
BC	BEGIN HORIZONTAL CURVE	INV	INVERT
BSL	BUILDING SETBACK LINE	IG	INVERT GRADE
BW	BOTTOM OF WALL AT GRADE	LF	LINEAR FEET
BLDG	FINISH GRADE BUILDING	MAX	MAXIMUM
BT	BEGINNING OF TANGENT	ME	MATCH EXISTING
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	MIN	MINIMUM
BVCS	BEGINNING OF VERTICAL CURVE STATION	NTS	NOT TO SCALE
CL	CENTERLINE	PC	POINT OF CURVE
CL	CLASS	PCC	POINT OF COMPOUND CURVE
CPP	CORRUGATED PLASTIC PIPE	PL	PROPERTY LINE
CONC	CONCRETE	PRC	POINT OF REVERSE CURVE
CY	CUBIC YARD	PT	POINT OF TANGENT
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT
DIA	DIAMETER	PVI	POINT OF VERTICAL INTERSECTION
DL	DAYLIGHT	RC	RELATIVE COMPACTION
EC	END HORIZONTAL CURVE	R/W	RIGHT-OF-WAY
EG	EXISTING GROUND	S	SLOPE
EP	EDGE OF PAVEMENT	SAD	SEE ARCHITECTURAL DRAWINGS
ET	END OF TANGENT	SC	SPIRAL CURVE
EVCE	END OF VERTICAL CURVE ELEVATION	SD	STORM DRAIN PIPE
EVCS	END OF VERTICAL CURVE STATION	SDE	STORM DRAIN EASEMENT
EX	EXISTING	SE	SEWER EASEMENT
FF	FINISHED FLOOR	SG	SUBGRADE
FG	FINISHED GRADE	SWE	SIDEWALK EASEMENT
FL	FLOW LINE	STA	STATION
FS	FINISH SURFACE	TW	TOP OF WALL
FSS	FIRE SAFETY STANDARDS	TYP	TYPICAL
GB	GRADE BREAK	VC	VERTICAL CURVE

**LEGEND**

EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD WIRE)
---	---	GAS LINE
---	---	GATE VALVE
---	---	HYDRANT
---	---	PIPE CAP
---	---	POINT OF COORDINATION
---	---	SANITARY SEWER PIPE
---	---	STORM WATER DRAIN PIPE
---	---	STREET LIGHT
---	---	WATER LINE
---	---	DRAINAGE SWALE FLOW LINE
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	FLOWLINE DIRECTION ARROW
---	---	GRADE BREAK
---	---	TREE TO BE REMOVED
---	---	CONCRETE
---	---	ROCK DISSIPATER/RIP RAP
---	---	BIORETENTION AREA



NORTHPOINT PARKWAY TYPICAL SECTION  
NO SCALE



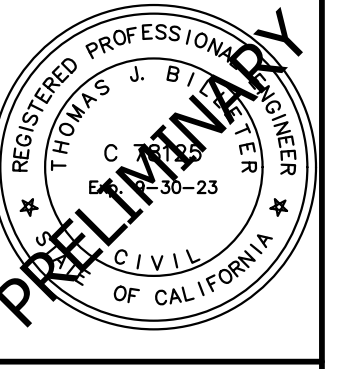
THUNDERBOLT WAY AND KINGFISHER WAY TYPICAL SECTION  
NO SCALE

REV.	DESCRIPTION	DATE

BC ENGINEERING GROUP, INC.  
CIVIL ENGINEERING & LAND PLANNING  
www.bceengineeringgroup.com  
Phone: 707-542-4321  
SANTA ROSA OFFICE:  
418 B Street, Third Floor, Santa Rosa CA 95401  
UKIAH OFFICE:  
603 S. State Street, Ukiah CA 95482



DESIGN REVIEW  
PROJECT INFO  
NORTHPOINT COMMERCE CENTER  
1408 THUNDERBOLT WAY  
SANTA ROSA, CA 95407



Date: 09/07/2023  
Job: 1979-20  
Drawn: JF/MD  
Scale: AS SHOWN  
APN: 035-530-023  
Permit #:

Sheet: **C1.0**  
1 of 4

NOT FOR CONSTRUCTION

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9/6/2023 12:05 PM  
Printed by: Trevor

- KEYNOTES:**
- 1 BIORETENTION AREA, SEE DETAIL THIS SHEET
  - 2 PROPOSED 6" (ASSUMED) SEWER SERVICE TO TIE INTO EXISTING LATERAL STUB
  - 3 TRASH ENCLOSURE
  - 4 20" SWE AND PUE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36
  - 5 25" BSL, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36
  - 6 20" SDE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36. EXISTING CONCRETE BOX CULVERT WITHIN EASEMENT TO REMAIN. ALL OTHER EXISTING SD INFRASTRUCTURE ON SITE TO BE REMOVED
  - 7 DRIVEWAY APRON PER CITY STD. 250A
  - 8 PROPOSED WALL DRAINS TO BIORETENTION, TYP

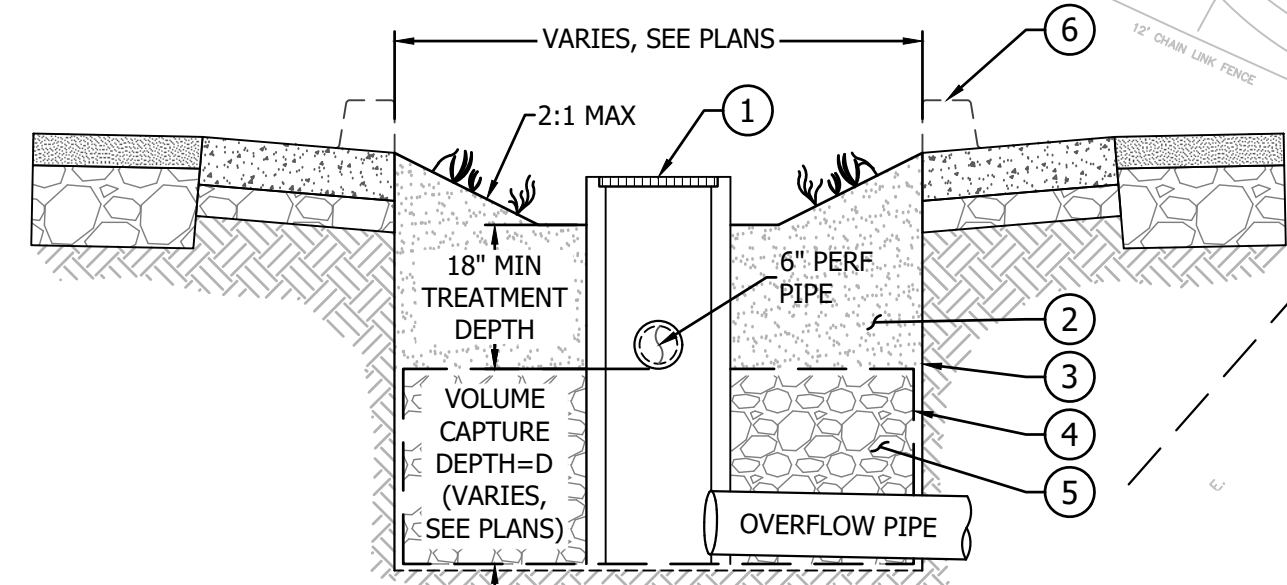
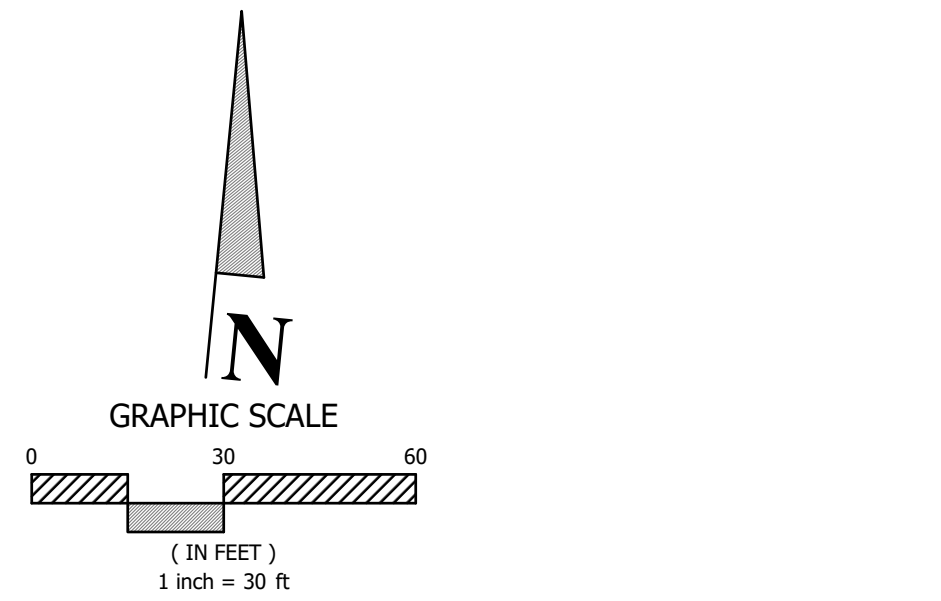
**AREA SUMMARY**

DMA (FT)	TRIB AREA (SF)	BMP AREA (SF)	DEPTH
1	58,523	3,720	3
2	26,056	1,500	3
3	37,595	2,225	3
4	113,316	6,300	3
5	51,290	3,630	3
6	1,809	150	2
7	1,152	100	2
8	8,642	720	2
9	1,707	145	2
10	1,563	130	2
11	1,200	100	2

RUNOFF CURVE NUMBER FOR ALL TRIBUTARY AREAS IS 98.

PRE-DEVELOPMENT IMPERVIOUS SURFACE: 104,458 SQ. FT.

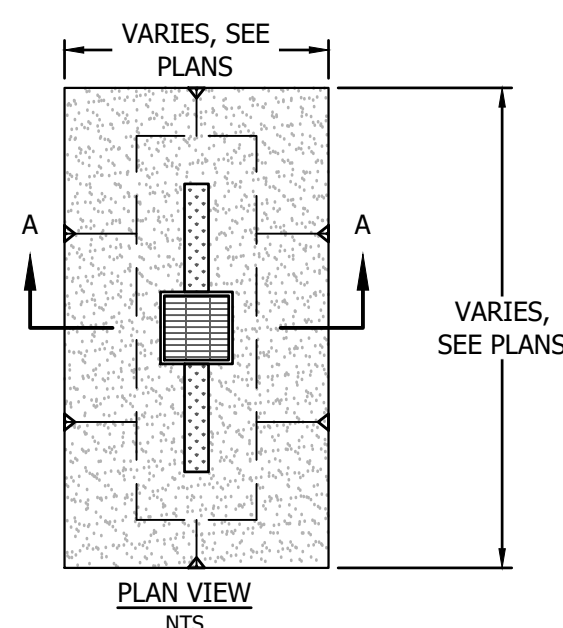
POST-DEVELOPMENT IMPERVIOUS SURFACE: 241,306 SQ. FT.



**SECTION A-A**  
NTS

**KEY NOTES:**

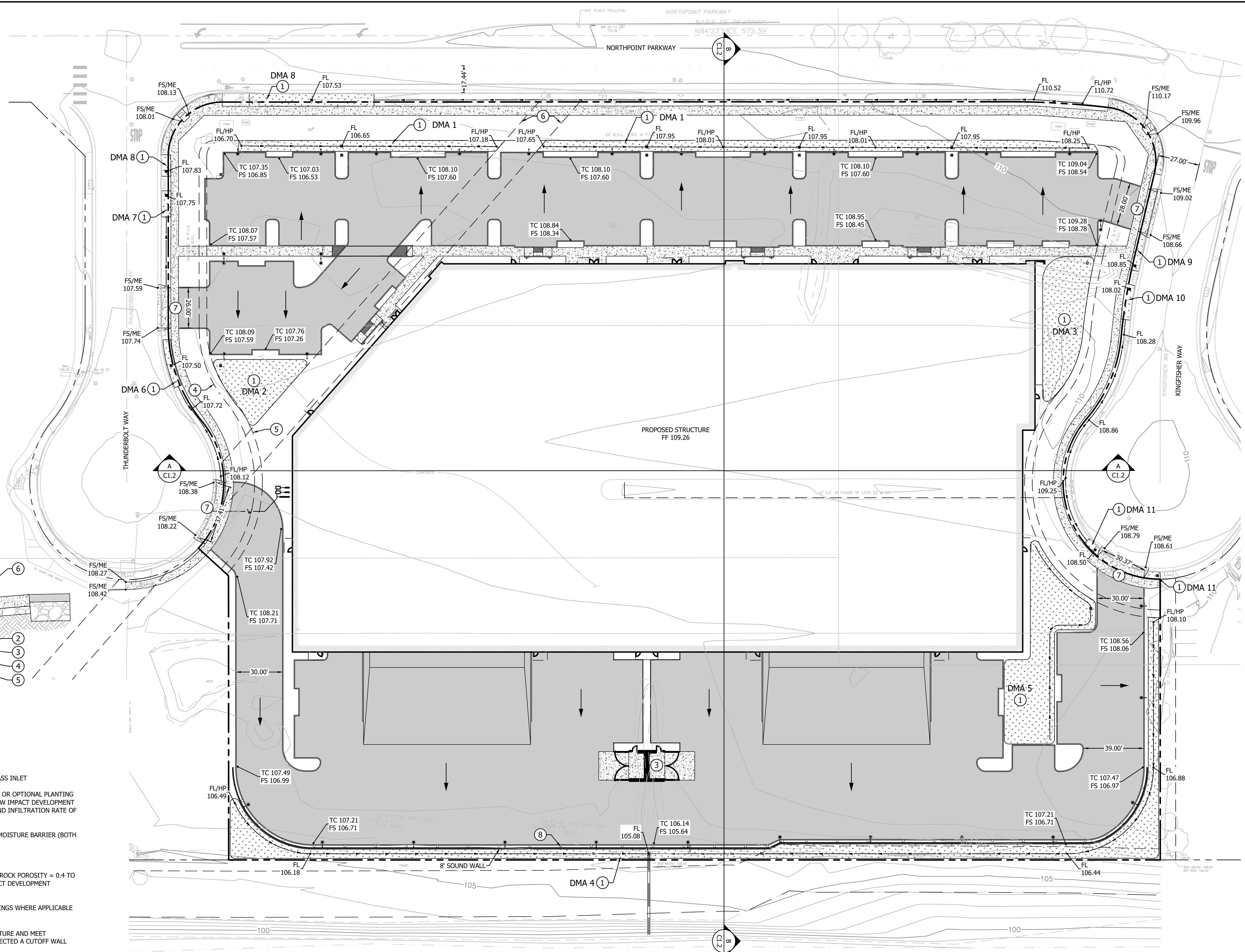
- 1 HIGH FLOW BYPASS INLET
- 2 AMENDED SOIL OR OPTIONAL PLANTING SOIL MIX PER LOW IMPACT DEVELOPMENT REGULATIONS AND INFILTRATION RATE OF 18 IN/HR
- 3 10-MIL PLASTIC MOISTURE BARRIER (BOTH SIDES)
- 4 FILTER FABRIC
- 5 3/4-INCH DRAIN ROCK POROSITY = 0.4 TO MEET LOW IMPACT DEVELOPMENT REGULATIONS
- 6 ADD CURB OPENINGS WHERE APPLICABLE



- NOTES:**
1. SOIL TO BE SPECIFIED BY DESIGN ENGINEER TO PROVIDE VOLUME CAPTURE AND MEET GOVERNING AGENCY REQUIREMENTS. IF NON STRUCTURAL SOIL IS SELECTED A CUTOFF WALL IS REQUIRED IN PLACE OF MOISTURE BARRIER.
  2. SWALE MUST CONVEY DESIGN FLOWS PER GOVERNING AGENCY DESIGN STANDARDS.
  3. TOP OF 6" PERFORATED PIPE TO BE SET 6" BELOW BOTTOM OF ROAD STRUCTURAL SECTION.

**BR BIORETENTION DETAIL**

NO SCALE



REV.	DESCRIPTION	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bceengineeringgroup.com  
 Phone: 707.542.4321  
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401  
 UKIAH OFFICE: 603 S. State Street, Ukiah CA 95482

**DESIGN REVIEW**  
**GRADING AND DRAINAGE PLAN**  
 NORTHPOINT COMMERCE CENTER  
 1408 THUNDERBOLT WAY  
 SANTA ROSA, CA 95407

**REGISTERED PROFESSIONAL ENGINEER**  
 TREVOR J. BROWN  
 CIVIL  
 No. 30323  
 STATE OF CALIFORNIA

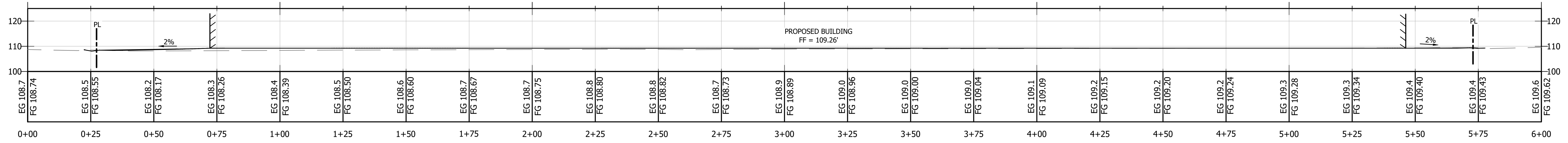
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 Job: 1979-20  
 Drawn: JF/MD  
 Scale: AS SHOWN  
 APN: 035-530-023  
 Permit #:  
 Sheet: **C1.1**  
 2 of 4

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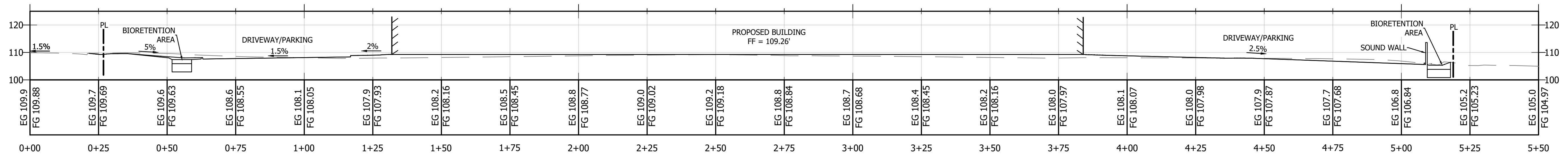
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**SITE SECTION A-A**  
HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=20'

**SITE SECTION LEGEND**

- FINISH GRADE
- EXISTING GRADE
- - - - - PROPERTY LINE



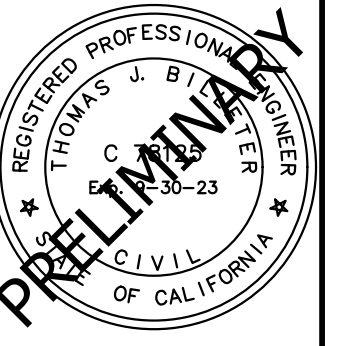
**SITE SECTION B-B**  
HORIZONTAL SCALE: 1"=20'  
VERTICAL SCALE: 1"=20'

REV.	DESCRIPTION	BY	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
www.bceengineeringgroup.com  
Phone: 707.542.4321  
SANTA ROSA OFFICE:  
418 B Street, Third Floor, Santa Rosa CA 95401  
UKIAH OFFICE:  
603 S. State Street, Ukiah CA 95482



**DESIGN REVIEW**  
**CROSS SECTION VIEWS**  
NORTHPOINT COMMERCE CENTER  
1408 THUNDERBOLT WAY  
SANTA ROSA, CA 95407

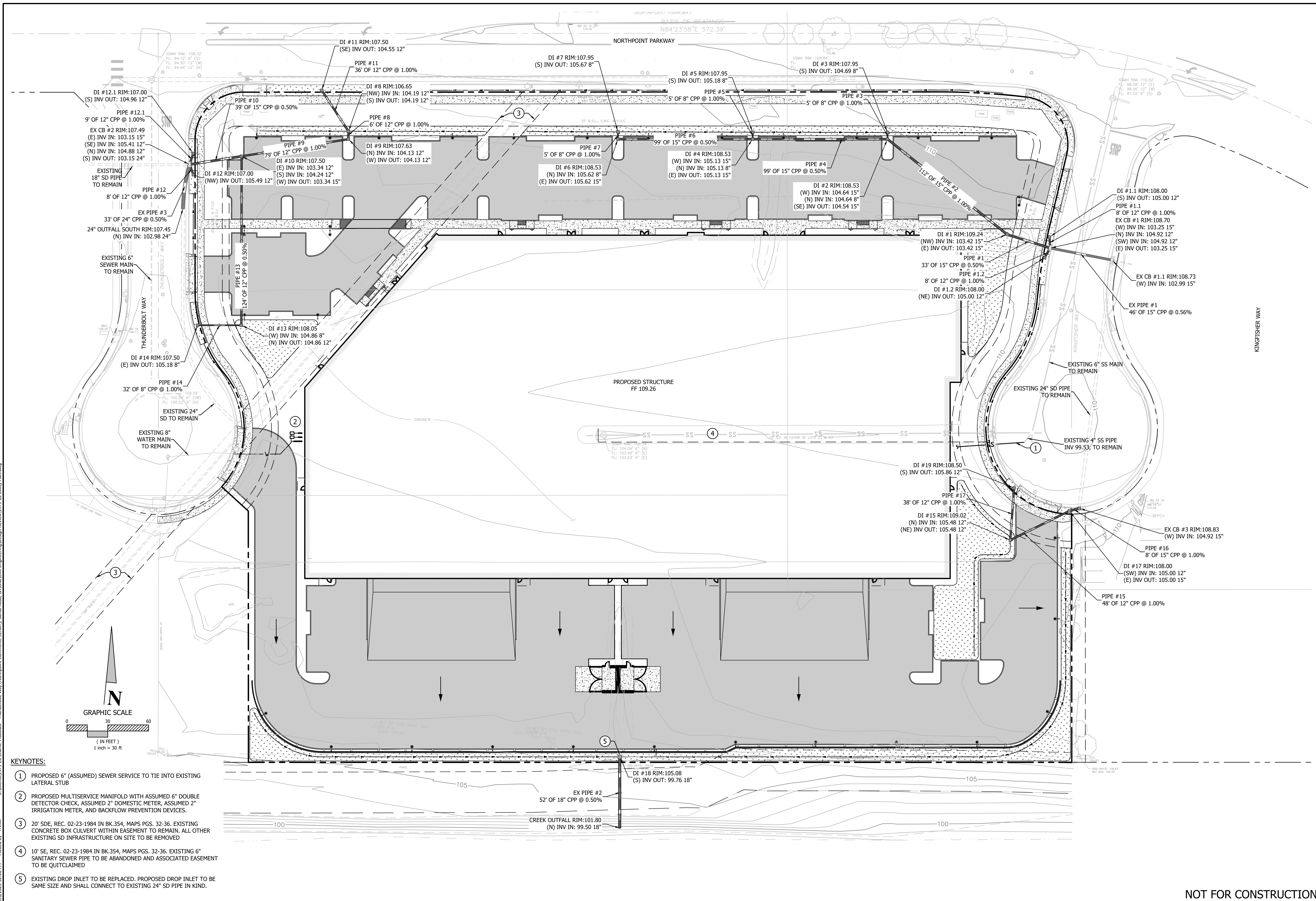


Date: 09/07/2023  
Job: 1979-20  
Drawn: JF/MD  
Scale: AS SHOWN  
APN: 035-530-023  
Permit #:

Sheet: **C1.2**  
3 of 4

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Printed by Trevor  
9/6/2023 12:06 PM



- KEYNOTES:**
- PROPOSED 6" (ASSUMED) SEWER SERVICE TO TIE INTO EXISTING LATERAL STUB
  - PROPOSED MULTISERVICE MANIFOLD WITH ASSUMED 6" DOUBLE DETECTOR CHECK, ASSUMED 2" DOMESTIC METER, ASSUMED 2" IRRIGATION METER, AND BACKFLOW PREVENTION DEVICES.
  - 20' SDE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36. EXISTING CONCRETE BOX CULVERT WITHIN EASEMENT TO REMAIN. ALL OTHER EXISTING SD INFRASTRUCTURE ON SITE TO BE REMOVED
  - 10' SE, REC. 02-23-1984 IN BK.354, MAPS PGS. 32-36. EXISTING 6" SANITARY SEWER PIPE TO BE ABANDONED AND ASSOCIATED EASEMENT TO BE QUITCLAIMED
  - EXISTING DROP INLET TO BE REPLACED. PROPOSED DROP INLET TO BE SAME SIZE AND SHALL CONNECT TO EXISTING 24" SD PIPE IN KIND.

REV.	DESCRIPTION	BY	DATE

**BC ENGINEERING GROUP, INC.**  
**CIVIL ENGINEERING & LAND PLANNING**  
 www.bceengineeringgroup.com  
 Phone: 707.542.4321  
 SANTA ROSA OFFICE: 418 B Street, Third Floor, Santa Rosa CA 95401  
 UKIAH OFFICE: 603 S. State Street, Ukiah CA 95482

**DESIGN REVIEW**  
**UTILITY PLAN**  
 NORTHPOINT COMMERCE CENTER  
 1408 THUNDERBOLT WAY  
 SANTA ROSA, CA 95407

**PROFESSIONAL ENGINEER**  
 TREVOR J. BURNETT  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 30-23  
 OF CALIFORNIA

Date: 09/07/2023  
 Job: 1979-20  
 Drawn: JF/MD  
 Scale: AS SHOWN  
 APN: 035-530-023  
 Permit #:  
 Sheet: **C1.3**  
 4 of 4

**NOT FOR CONSTRUCTION**

**LANDSCAPE DESIGN INTENT:**

• Landscape design intent: The designed landscape will create continuity with the adjacent landscapes in the development and provide year-round interest in foliage color and form to soften and enhance the look of the new architecture. Signature street trees are selected from the City of Santa Rosa's approved street tree list for narrow spaces and are planted along Northpoint Parkway and Mariner Way on a grid, representing an orchard format. Plant materials selected consist of almost exclusively low water-use and low maintenance species, many native to the area. Understory and ground cover plantings are generally low profile in stature so as not to interfere with visual access into and within the site. Organic layout of shrubs and ground covers provide a natural-looking landscape. Plant selection emphasizes foliage form and color for year-long attractiveness and structure, with adequate spacing to discourage hard pruning. Dense ground covers provide weed and erosion control and ground covers selected from among fire-resistant species will be planted along the Parkway to provide a fire buffer to the site. No turf grass areas are proposed.

• Tree quantities and placement: New tree counts exceed the quantity required by the City's tree/parking ratio. Parking areas contain (36) trees at a 1:4.5 ratio with the (163) proposed parking spaces. There are an additional (24) trees for the remaining 24,500 square feet of landscaped area, or (1) tree for every 600 square feet of landscaped area. Street trees are provided at 1 per 20-feet of commercial frontage per the City Design Guidelines (Streetscapes). Street trees are held back 30-feet from the corner curb return.

• Sound mitigation for neighboring properties: A new 8" tall, poured-in-place, integrally colored concrete site wall will be located along the south project border, to provide visual and sound mitigation for residences to the south. The south face of the wall will be planted with a vigorous, climbing vine to soften and green its view.

• Planting scheme at property lines and entries: Enhanced entry planting will direct users to entry points via bold year-round color and textural contrast. To supplement the screening provided by trees on adjacent parcels, new tree species along the west property line have been added. Trees are located so that at maturity they do not interfere with safe sight distances for vehicular, bicycle, or pedestrian traffic nor will they conflict with overhead utility lines, overhead lights, or walkway lights.

• Root barriers: Appropriate root barriers shall be provided in any planters and parking islands less than 10' in width.

• Existing trees: There are no existing trees on site that will require removal.

**IRRIGATION STATEMENT:**

• All landscaped areas will be provided with an approved, fully automated irrigation system to include an automatic master control with multi-calendar, timer, and multi-station capabilities, in compliance with Section 20-34.060 and with the City's Water Efficient Landscape Ordinance.

• Irrigation system will be designed to avoid runoff, low head drainage, overspray or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures. Proper irrigation equipment and schedules, including repeat cycles, shall be used to closely match application rates to infiltration rates to minimize runoff. Plants with similar water requirements shall be grouped together in distinct hydrozones.

• A master valve and flow sensor will be provided near the irrigation point of connection and connected to the automatic irrigation controller to sense and shutdown the system in case of a catastrophic event. All ground cover, shrub, and perennial planting areas will receive a high-efficiency inline drip system. The automatic irrigation controller will utilize either evapotranspiration or soil moisture sensor data with non-volatile memory. Sensors (rain, freeze, wind, etc.), either integral or auxiliary, that suspend or alter irrigation operation during unfavorable weather conditions will be provided for all zones.

**PROPOSED TREE LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	HEIGHT X WIDTH AT MATURITY	QTY **	DESCRIPTION
	Arbutus 'Marina'	Strawberry Tree	Low	24" Box	20' x 20'	17	Evergreen accent tree
	Cercis occidentalis	Western Redbud	Low	15 Gal	15' x 15'	11	Deciduous accent tree
	Ginkgo biloba 'Saratoga'	Maidenhair Tree	Moderate	15 Gal	30' x 50'	7	Deciduous accent tree
	Magnolia 'Little Gem'	Dwarf Magnolia	Moderate	15 Gal	18' x 8'	5	Evergreen accent tree
	Pistacia c. 'Keith Davy'	Chinese Pistache	Low	36" Box	25' x 25'	17	Deciduous shade tree
	Quercus agrifolia	Coast Live Oak	Low	15 Gal	20-75' x 30-60'	6	Native Oak/storm retention area

\*\* Refer to Landscape Design Intent Statement above for more information on tree quantities required.

**PROPOSED PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	ON CENTER SPACING	DESCRIPTION
<b>Shrubs</b>						
	Arctostaphylos 'Sunset'	Sunset Manzanita	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	Berberis atropurpurea	Japanese Barberry	Low	5 Gal	4'-0" o.c.	Deciduous foundation shrub
	Caeanthus 'Siyahk'	Wild Lilac	Low	5 Gal	6'-0" o.c.	Evergreen foundation shrub
	Heistermeles arbutifolia	Toyon	Low	5 Gal	8'-0" o.c.	Evergreen foundation shrub
	Cistus salviifolius	White Rockrose	Low	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	Grevillea noelii	Grevillea	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	Pennisetum orientale	Fountain Grass	Low	1 Gal	3'-0" o.c.	Ornamental Grass
	Rosa 'Flower Carpet Red Rose'	Rosa x 'Noare'	Moderate	5 Gal	3'-0" o.c.	Semi deciduous accent shrub
	Salvia greggii 'Purple'	Purple Sage	Low	5 Gal	3'-0" o.c.	Evergreen foundation shrub
	Xylosma c. compacta	Compact Xylosma	Low	5 Gal	5'-0" o.c.	Evergreen hedge shrub
<b>Ground Cover</b>						
	Ceanothus g.h. 'Yankee Point'	California Lilac	Low	5 Gal	6'-0" o.c.	Evergreen ground cover
	Coprosma p. 'Verde Vista'	Coprosma	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Cotoneaster lowfast	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
<b>Storm Retention Planting</b>						
	Carex divulsa	Berkeley Sedge	Low	1 Gal	2'-0" o.c.	Water-tolerant ornamental grass
	Chondropetalum tectorum	Small Cape Rush	Low	1 Gal	4'-0" o.c.	Water-tolerant ornamental grass
<b>Corner/Entry Treatment</b>						
	Coleonema p. 'Sunset Gold'	Bright Star Yucca	Moderate	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	Cotoneaster lowfast	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	Loropetalum chinense	Chinese Fringe Flower	Moderate	5 Gal	5'-0" o.c.	Evergreen foundation shrub
<b>Vines</b>						
	Parthenocissus tricuspidata	Boston Ivy	Low	1 Gal	4'-0" o.c.	Deciduous Climbing Vine

THUNDERBOLT WAY

NORTHPOINT PARKWAY

KINGFISHER WAY

PROPOSED BUILDING

SEE ARCHITECTURAL DRAWINGS

STORM RETENTION PLANTING AREA, TYP.

APPROXIMATE LOCATION OF TREE CANOPY ON ADJACENT PROPERTY, TYP.

SOUND WALL, SEE ARCHITECTURAL DRAWINGS

**PROPOSED TREE IMAGERY**

*Pistachia chinensis* - Chinese Pistache

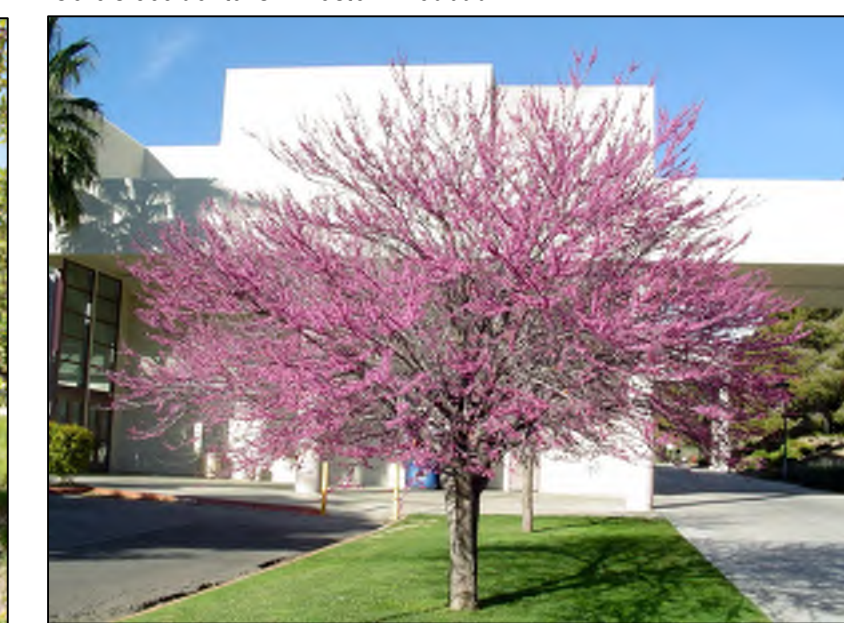
*Quercus agrifolia* - Coast Live Oak

*Arbutus 'Marina'* - Strawberry Tree

*Cercis occidentalis* - Western Redbud

*Magnolia 'Little Gem'* - Dwarf Magnolia

*Ginkgo biloba 'Saratoga'* - Maidenhair Tree



DESIREE GARON

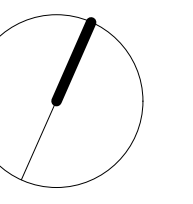
LANDSCAPE ARCHITECT

308 HATCHERY LANE SONOMA, CA 95476 PH (707) 694-6139

CALIFORNIA PLA #5216 EXP 11/30/21

NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY SANTA ROSA, CA 95407



REVISIONS

9/13/23

DATE: 2/26/22

SCALE: 1" = 30'-0"

DRAWN: DJG

LANDSCAPE SITE PLAN

L1.0

CLIENT:

**McNeill Real Estate Services**  
Joseph A McNeill, III

916 718 5659  
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

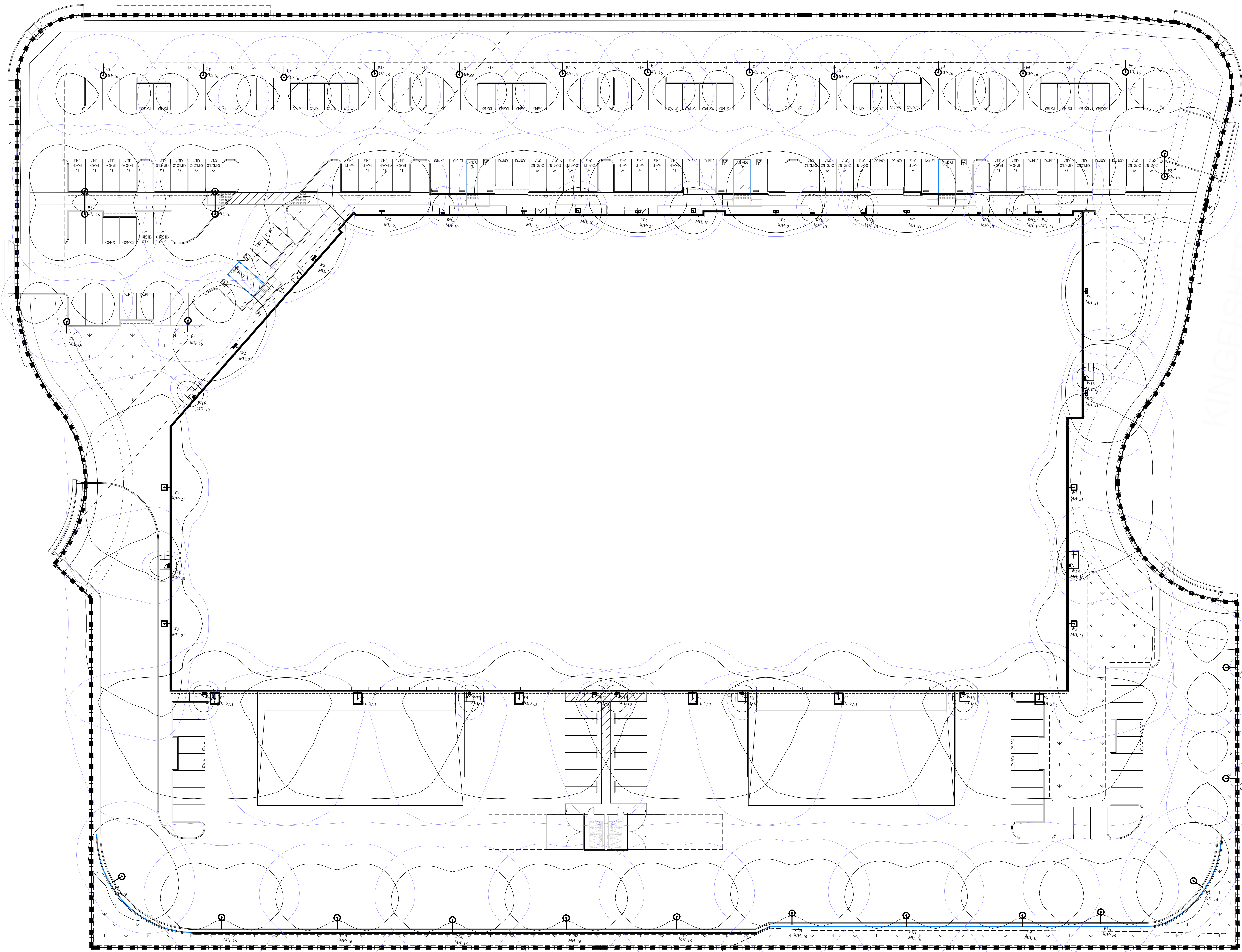
**NORTHPOINT COMMERCE CENTER**

NORTHPOINT PARKWAY AT THUNDERBOLT WAY  
SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

issue :	description :	date :
A	ISSUED FOR REVIEW	09-11-2023



PRELIMINARY LIGHTING SITE PLAN

SCALE: 1" = 20'-0"

1

LIGHTING NOTES:  
POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)  
POLE LIGHTS TYPE P3A ALONG SOUTH PROPERTY LINE TO BE EQUIPPED WITH HSS  
BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"  
BUILDING LIGHTS MOUNTING HEIGHT IS 21'-0"  
BUILDING ABOVE DOORS EMERGENCY LIGHTS TYPE W1E MOUNTING HEIGHT IS 10 FT  
ALL LIGHTS ARE FULL CUT-OFF

drawn by : TLG plot date : 09-11-2021

checked by : AG/IDL

stamp



scale : AS NOTED

project number : 2204025.00

**PRELIMINARY LIGHTING SITE PLAN**

sheet no. :

**PH01.0**

CLIENT:

**McNeill Real Estate Services**  
Joseph A McNeill, III

916 718 5659  
Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

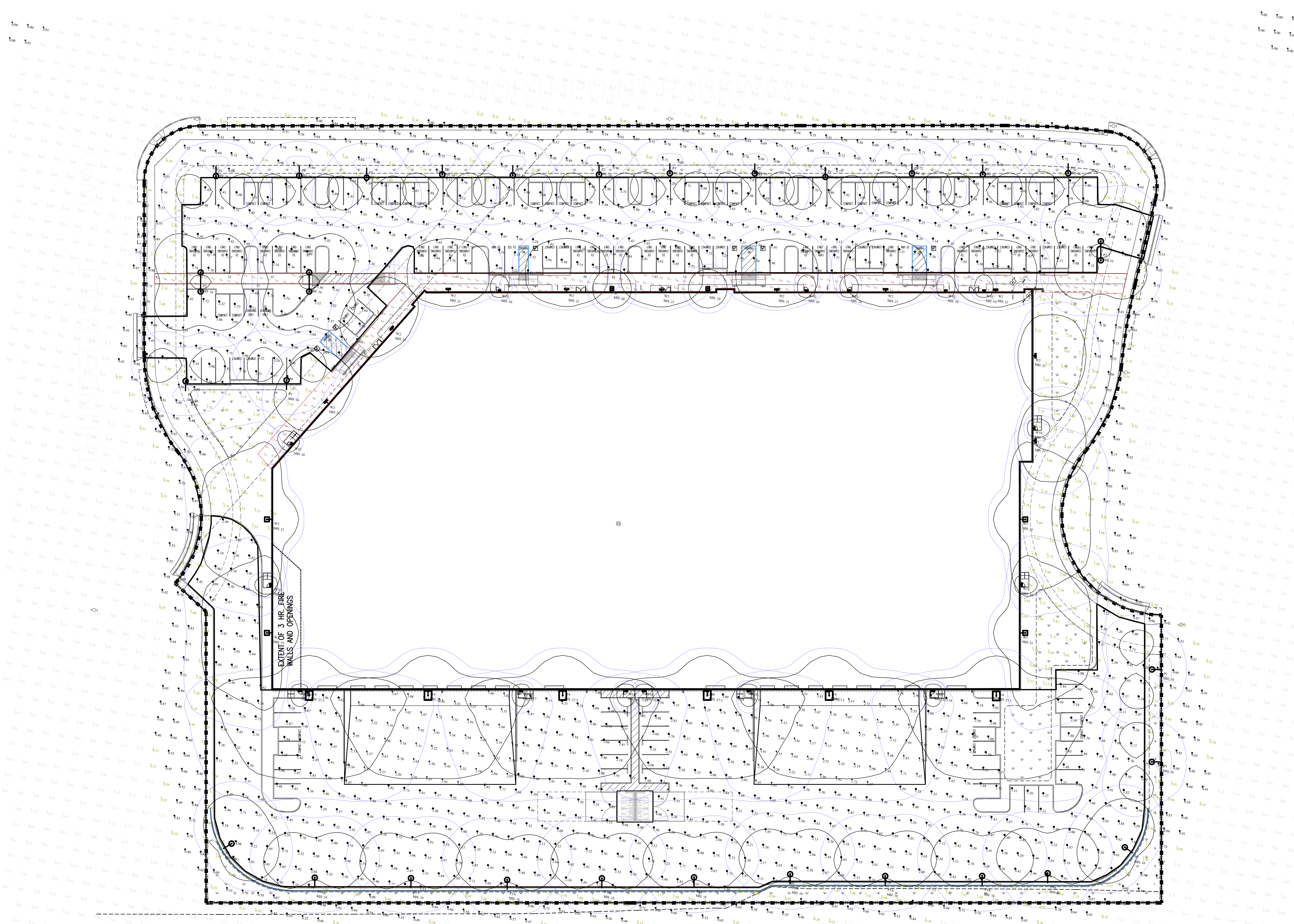
## NORTHPOINT COMMERCE CENTER

NORTHPOINT PARKWAY AT THUNDERBOLT WAY  
SANTA ROSA, CALIFORNIA

approved for the owner by :

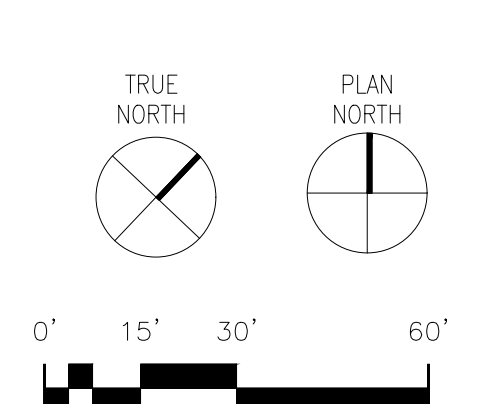
approved for the architect by :

issue :	description :	date :
A	ISSUED FOR REVIEW	09-11-2023



Symbol	Qty	Label	Arrangement	Description	LLF	[MANUFAC]	Luminaire Lumens	Luminaire Watts	Total Watts	BUG Rating
□	2	D	Single	SCP-S-20-LG-VS-4K	0.900	BARRON LIGHTING GROUP	2352	20.49	40.98	N.A.
□	16	P1	SINGLE	TT-D3-740-U-T4-PM	0.900	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	5348	48.8	780.8	B2-U0-G3
□	3	P2	Back-Back	TT-D3-740-U-T4-PM	0.900	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	5348	48.8	292.8	B2-U0-G3
□	2	P3	Single	TT-D5-740-U-T4-PM	0.900	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	7938	62.3	124.6	B2-U0-G3
□	9	P3A	Single	TT-D5-740-U-T4-PM-HSS. NOTE! Confirm with factory D5 and HSS is available. 1.25 LLF for 7938 lumens	1.250	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	5567	62.5	562.5	B1-U1-G3
□	15	W1E	SINGLE	131-0233_us MOUNTING HEIGHT 10 FT	0.900	WE-EF USA	517	16	240	N.A.
□	10	W2	SINGLE	070449 MOUNTING HEIGHT 21 FT - 6 INCHES	0.900	Performance iN Lighting	7985	80	800	B2-U0-G1
□	4	W3	SINGLE	PRV-PA2A-740-U-T4W	0.900	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	15560	112	448	B3-U0-G3
□	6	W4	Single	PRV-XL-PA3A-740-U-T4W	0.900	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	24325	172	1032	B3-U0-G4

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
East Dock	Illuminance	Fc	2.6	4.00	1.67	1.6	2.4
North Parking	Illuminance	Fc	1.8	5.42	1.04	1.8	5.2
Pedestrian Path	Illuminance	Fc	3.3	8.65	1.06	3.2	8.2
South Parking	Illuminance	Fc	2.2	5.63	0.90	2.5	6.3
Spill Light	Illuminance	Fc	0.4	7.77	0.00	N.A.	N.A.
West Dock	Illuminance	Fc	2.9	4.33	1.87	1.6	2.3



PRELIMINARY PHOTOMETRIC OVERALL LIGHTING SITE PLAN

SCALE: 1" = 30'-0"

1

LIGHTING NOTES:  
POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)  
POLE LIGHTS TYPE P3A ALONG SOUTH PROPERTY LINE TO BE EQUIPPED WITH HSS  
BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"  
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ALL LIGHTS ARE FULL CUT-OFF

drawn by : TLG plot date : 09-11-2021

checked by : AG/UDL

stamp



scale : AS NOTED

project number : 2204025.00

## PRELIMINARY PHOTOMETRIC LIGHTING PLAN

sheet no. :

PH01.1

