

HATCHING LEGEND

	ONSITE AC PAVING		SPECIAL PAVING
	PETALUMA HILL RD & COLGAN AVE		BIO-RETENTION AREA
	RUBBERIZED SURFACE		HARDSCAPE

(*) PREPARE SUBGRADE PER SOILS ENGINEER'S RECOMMENDATIONS

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C1.1	EXISTING SITE CONDITION & DEMOLITION PLAN
C1.2	TYPICAL STREET SECTIONS & PL SECTIONS
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C3.0_3.1	PRELIMINARY UTILITY PLANS
C4.0	SITE SECTIONS & TYPICAL DETAILS

TABULATIONS

LOT AREA:	4.92 ACRES
LOT COVERAGE:	31%
NUMBER OF UNITS:	147 30.0 AC

PLAN 1	34	1BR/1BA	690 S.F.
PLAN 2	15	1BR/1BA	767 S.F.
PLAN 2X	34	1BR/1BA	767 S.F.
PLAN 3	12	1BR/D/1.5BA	874 S.F.
PLAN 4	14	2BR/2BA	947 S.F.
PLAN 5	12	2BR/2BA	1080 S.F.
PLAN 5X	26	2BR/2BA	1080 S.F.

Parking Summary:

PARKING GARAGES:	84
SURFACE PARKING:	148
TOTAL PARKING:	232
REQUIRED PARKING:	271
PARKING REDUCTION:	14.4%

OWNER INFO

McKELLAR MCGOWAN HOLDINGS, LLC
 5075 SHOREHAM PLACE, STE. #280
 SAN DIEGO CA, 92112
 PHONE: (858) 353-2397
 EMAIL: JEFF@MCKELLARMCGOWAN.COM

ARCHITECT

McKINLEY ASSOCIATES
 C/O: KIRK MCKINLEY
 1818 FIRST AVE, SUITE 200
 SAN DIEGO, CA 92101
 TEL: (619) 238-1134

LANDSCAPE ARCHITECT

QUADRIGA LANDSCAPE ARCHITECTURE & PLANNING, INC.
 C/O: CHRISTINE TALBOT
 1212 4TH STREET, STUDIO K
 SANTA ROSA, CA 95404
 TEL: (707) 546-3561

- ### KEY NOTES:
- PROPOSED PARKING LANE (8' TYPICAL)
 - PROPOSED BIKE LANE (5' MINIMUM)
 - PROPOSED BIKE LANE BUFFER (2')
 - PROPOSED 12' TRAVEL LANE
 - PROPOSED 10' TWO-WAY LEFT TURN LANE
 - PROPOSED 6' PLANTER STRIP (CSR STD.-230E)
 - PROPOSED 6' SIDEWALK (CSR STD.-230E)
 - ROADSIDE BIORETENTION FACILITY, SEE DETAIL 1 SHEET C4.0
 - LEFT-TURN POCKET (12')
 - FAR-SIDE BUS TURNOUT (CSR STD.-220 & 222)
 - 12" WHITE THERMOPLASTIC LIMIT LINE 5' IN ADVANCE OF CROSSWALK
 - ADDITIONAL 6" SPACE PROVIDED FOR FUTURE STRIPING AS BIKE LANE
 - PROPOSED DRIVEWAY APRON (CSR STD.-250A)
 - PROPOSED CURB & GUTTER (CSR STD.-241)
 - SAWCUT & PAVEMENT WIDENING (CSR STD.-210). RECONSTRUCTION OF EXISTING STREET PAVEMENT TO STREET CENTER LINE, WITH PAVEMENT SECTION MEETING THE DESIRED "TI" VALUE, MIGHT BE REQUIRED UPON FIELD ASSESSMENT OF PROJECT SOILS ENGINEER OF EXISTING PAVEMENT CONDITION.
 - PERMANENT EASEMENT FOR STREET AND PUBLIC UTILITY PURPOSED TO THE CITY OF SANTA ROSA RECORDED AUGUST 3, 2001 UNDER OFFICIAL RECORDS DOCUMENT NUMBERS 2001-105898 & 2001-105899 (SONOMA COUNTY RECORDS).
 - PROPOSED RIGHT-OF-WAY DEDICATION TO THE CITY OF SANTA ROSA.
 - PROPOSED PUBLIC UTILITY EASEMENT (PUE).

NOTES:

- + ALL PARKING HAS BEEN DESIGNED TO ACCOUNT FOR A 2.0' OVERHANG ALLOWANCE PER CITY OF SANTA ROSA PARKING DESIGN STANDARDS (TITLE 20-36.070).
- + SEE SHEET C1.2 FOR TYPICAL STREET SECTIONS & PL SECTIONS. SEE SHEET C4.0 FOR SITE SECTION G & F.

ABBREVIATIONS

AAI	ADOBE ASSOCIATES, INC.	FH	FIRE HYDRANT
AB	AGGREGATE BASE	FS	FINISHED SURFACE
AC	ASPHALT CONCRETE	FSS	FIRE SAFE STANDARD
AD	AREA DRAIN	GB	GRADE BREAK
BLDG	BUILDING	GR	GRATE
BM	BENCH MARK	MH	MANHOLE
BSL	BUILDING SETBACK LINE	MIN	MINIMUM
C	COMPACT PARKING	NTS	NOT TO SCALE
CD	CHANNEL DRAIN	PA	PLANTING AREA, SEE LANDSCAPE PLAN
CL	CLASS	R	PROPERTY LINE
C	CENTERLINE	PP	POWER POLE
CO	CLEANOUT	PUE	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	RCE	REGISTERED CIVIL ENGINEER
CSR	CITY OF SANTA ROSA	R/W	RIGHT OF WAY
DI	DROP INLET	S	SLOPE
DWC	DRAINAGE	SAP	SEE ARCHITECTURAL PLANS
DWY	DRIVEWAY	SLP	SEE LANDSCAPE PLANS
EG	EXISTING GROUND	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EL	ELEVATION	STD	STANDARD
ESMT	EASEMENT	TC	TOP OF CURB
EX	EXISTING	TYP	TYPICAL
FC	FLUSH CURB	W	WATER
FL	FLOWLINE	WM	WATER METER
FG	FINISH GRADE	WV	WATER VALVE

Revisions

No.	Date	Description	Approved

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 civil engineering | land surveying | wastewater

1220 N. Dutton Ave., Santa Rosa, CA 95401
 P: (707) 541-2300 F: (707) 541-2301
 Website: www.adobeinc.com

DESIGN REVIEW

David R. Brown, RCE 41833
 My license expires 3/31/2024

PROFESSIONAL ENGINEER
 No. 41833
 Exp. 3/31/2024
 CIVIL ENGINEER STATE OF CA

SCALE: AS SHOWN

Date: April 2023

Design by: JK/AV

Drawn by: PDP

Checked by: DRB

MOSAIC APARTMENTS

PRELIMINARY SITE IMPROVEMENTS

OVERALL SITE PLAN

1775, 1725, 1683 Petaluma Hill Road

Santa Rosa, California

APN 044-021-072, 071, 035 & 022

Sheet

C1.0

1 of 8 Sheets

Job 18294



DEMOLITION TABLE *

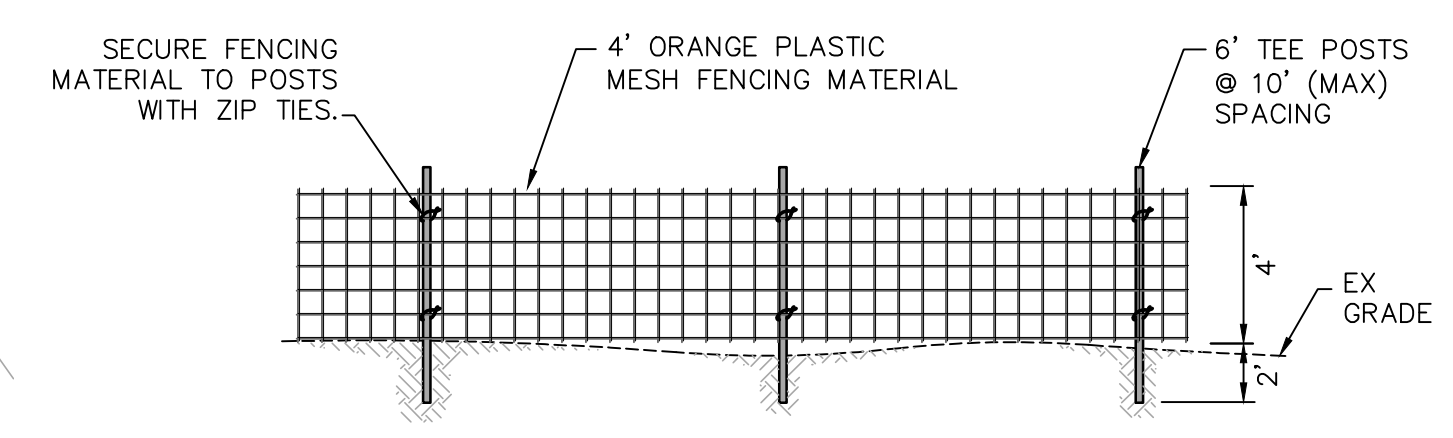
SYMBOL	DEMOLITION FEATURE
①	REMOVE EX BUILDING/STRUCTURE
②	REMOVE EXISTING ASPHALT/CONCRETE
③	SAWCUT LINE
④	REMOVE EX CURB, GUTTER OR AC BERM
⑤	REMOVE EX TREE (32 COUNT)
⑥	REMOVE EX STORMDRAIN
⑦	REMOVE EX ROADSIDE DITCH
⑧	REMOVE EX DROP-INLET/CATCH BASIN
⑨	REMOVE EX SEWER SERVICE PER CITY STANDARDS
⑩	REMOVE EXISTING FENCE
⑪	REMOVE/REPLACE EX STRIPE & PAVEMENT MARKING (SEE PUBLIC IMPROVEMENT PLANS).
⑫	TREE NUMBERS 966 THRU 973 APPEAR TO LOCATE ON NEIGHBORING PROPERTIES. LOCATIONS TO BE FIELD VERIFIED AND TREE PROTECTION TO BE DEPLOYED AS NECESSARY PER ARBORIST REPORT & TREE PROTECTION DETAIL 1 HEREOF.

* CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION

UTILITY REMOVAL & ABANDONMENT.
 + REMOVAL AND ABANDONMENT OF EXISTING UTILITIES SHALL BE DONE PER CITY STANDARDS.
 + ALL UNUSED SEWER AND WATER SERVICES MUST BE ABANDONED AT THE MAIN PER CITY STANDARDS.

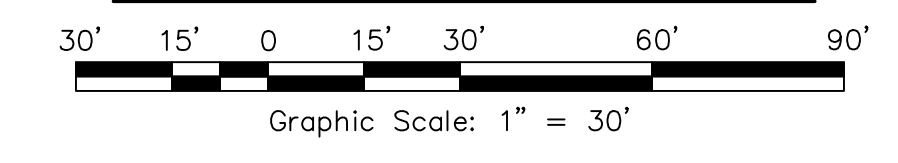
TREE PROTECTION NOTES:
 + ALL EXISTING TREES ARE TO BE RETAINED AND PROTECTED UNLESS MARKED TO BE REMOVED.
 + CONTRACTORS TO INSTALL TREE PROTECTION FENCING PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY IN THE AREA.
 + FENCING SHALL BE MAINTAINED AND REMAINED UNTIL PROJECT COMPLETES.

EXISTING EASEMENTS
 ① EXISTING PUBLIC ACCESS & UTILITY EASEMENT (DN 2001-10898)
 ② EXISTING PUBLIC ACCESS & UTILITY EASEMENT (DN 2001-10899)



① TREE PROTECTION FENCING
NTS

EXISTING SITE CONDITION & DEMOLITION PLAN



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Revisions

No.	Date	Description	Approved

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DESIGN
REVIEW

DAVID R. BROWN
 ENGINEER * LAND SURVEYOR * REGISTERED
 No. 41833
 Exp. 3/31/2024
 CIVIL
 STATE OF CA

SCALE: AS SHOWN

Date: April 2023

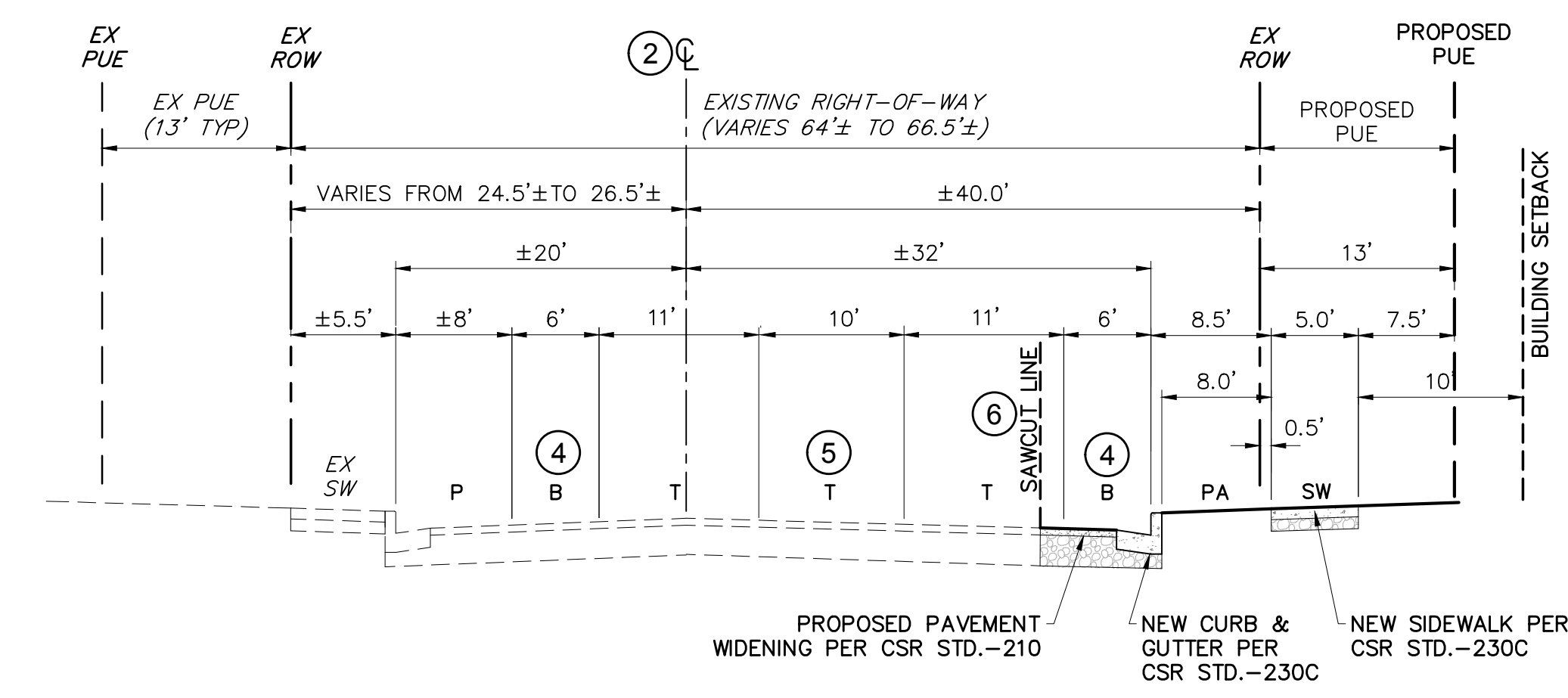
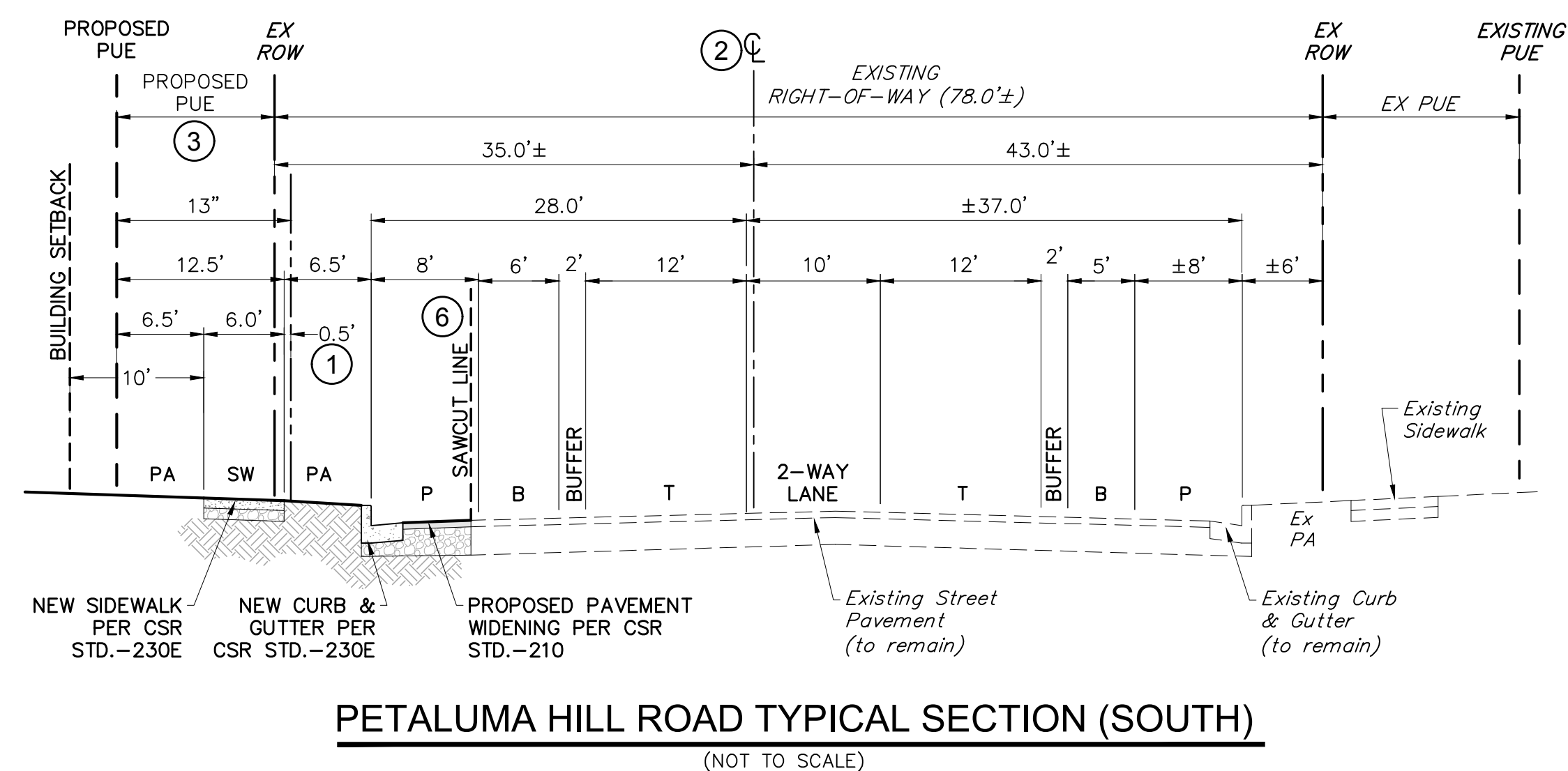
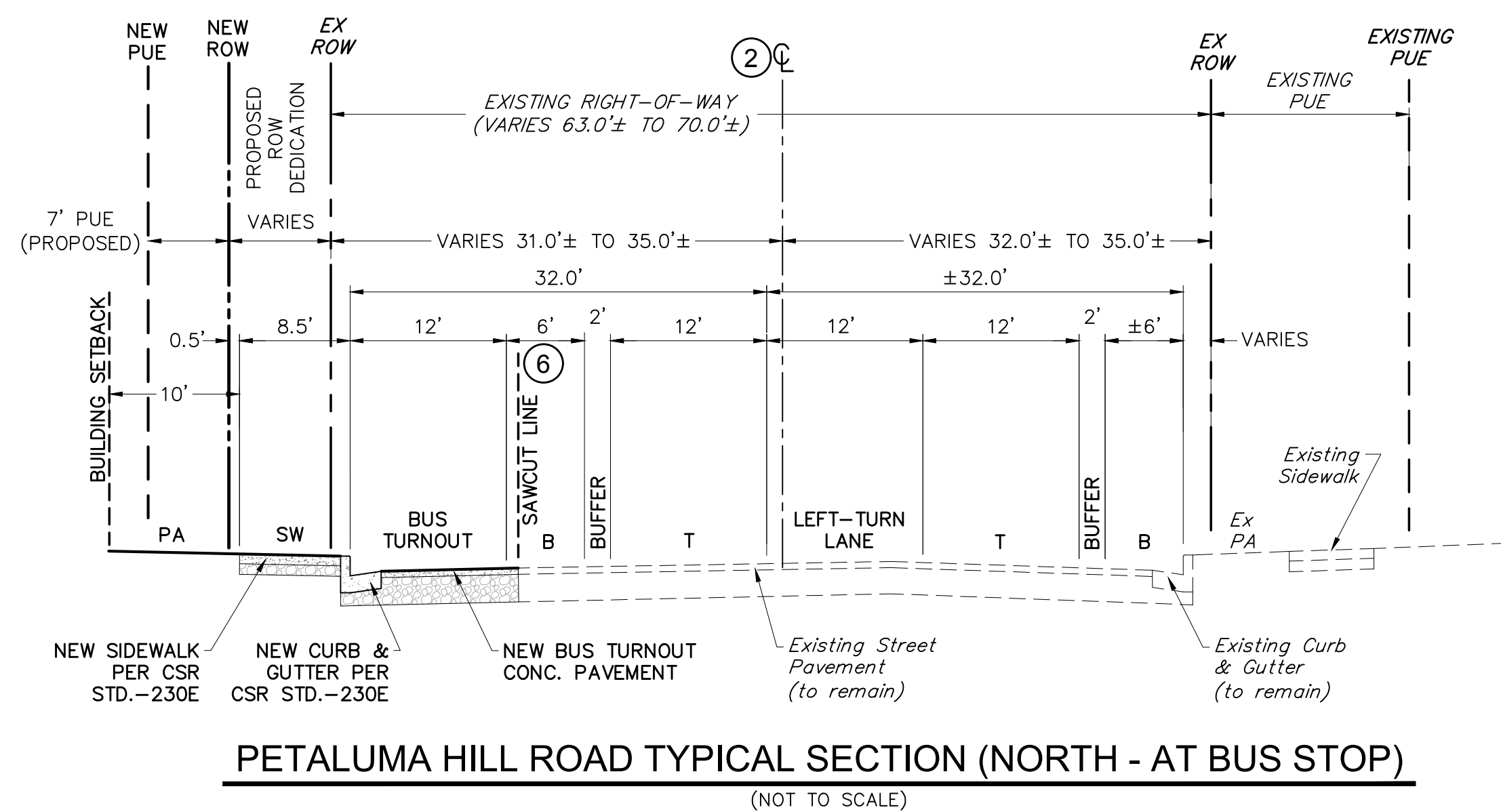
Design by: JK/RY

Drawn by: PSP

Checked by: DRB

MOSAIC APARTMENTS
 PRELIMINARY SITE IMPROVEMENTS
 EXISTING SITE CONDITION & DEMOLITION PLAN
 1775, 1725, 1683 Petaluma Hill Road
 Santa Rosa, California
 APN 044-021-072, 071, 035 & 022

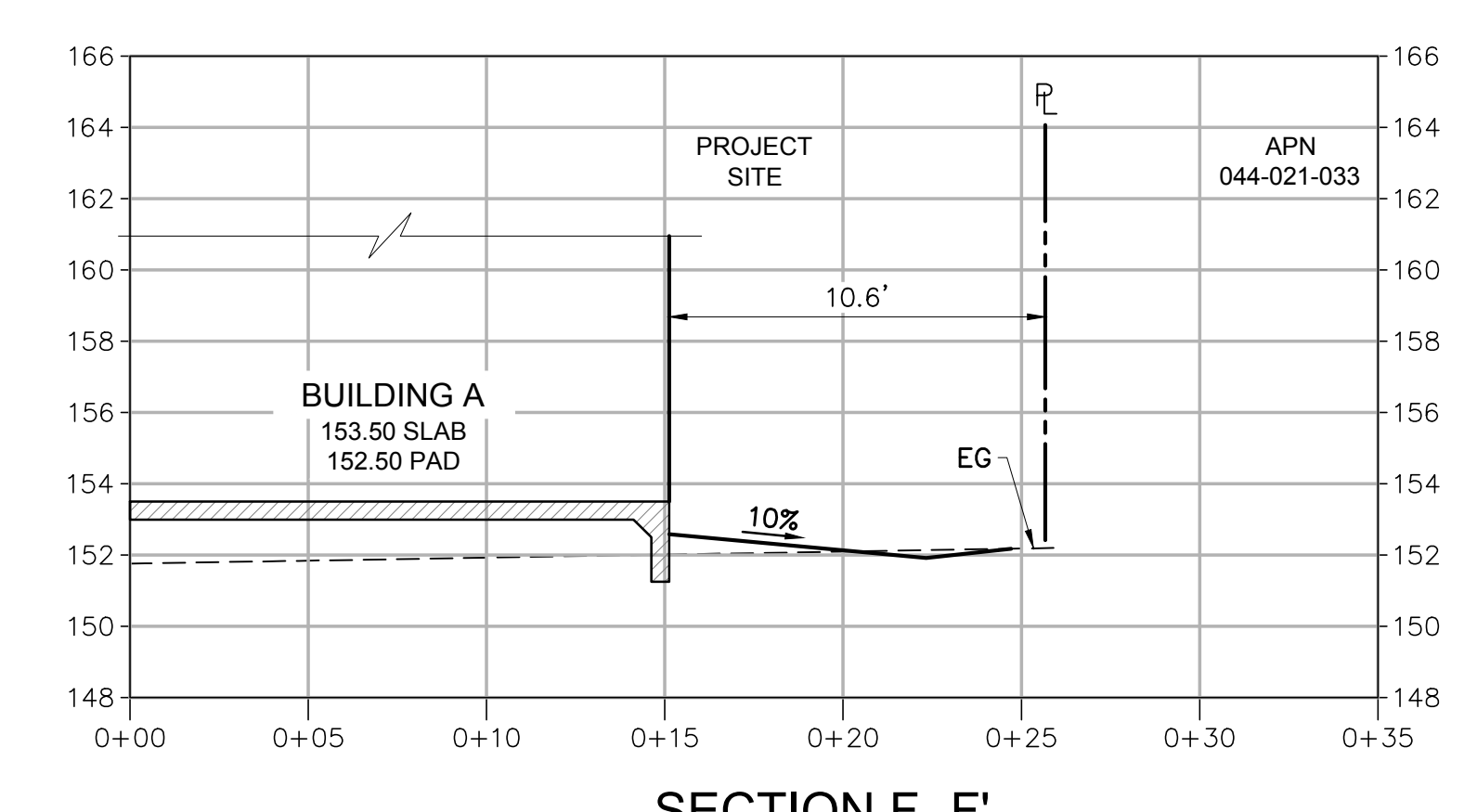
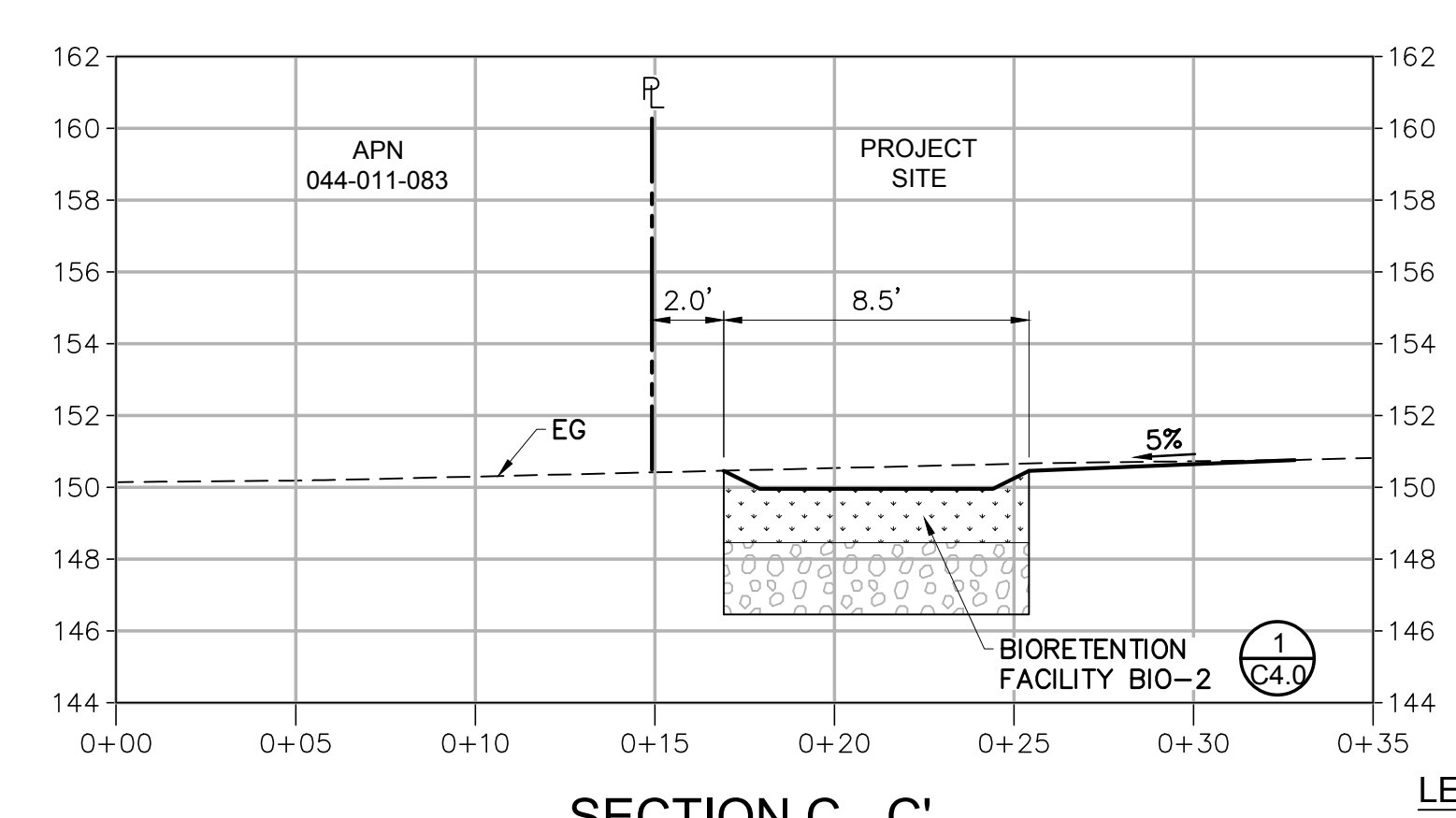
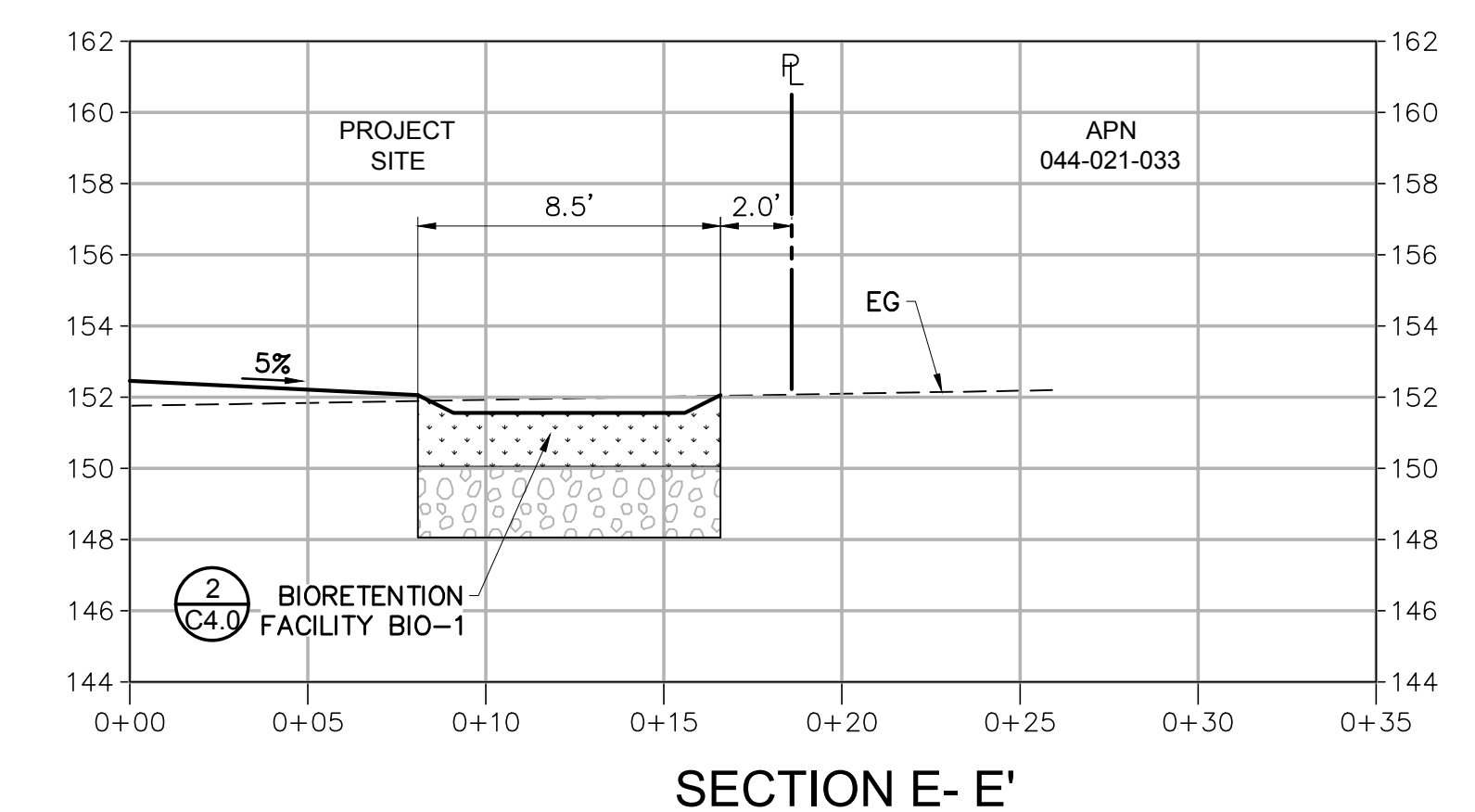
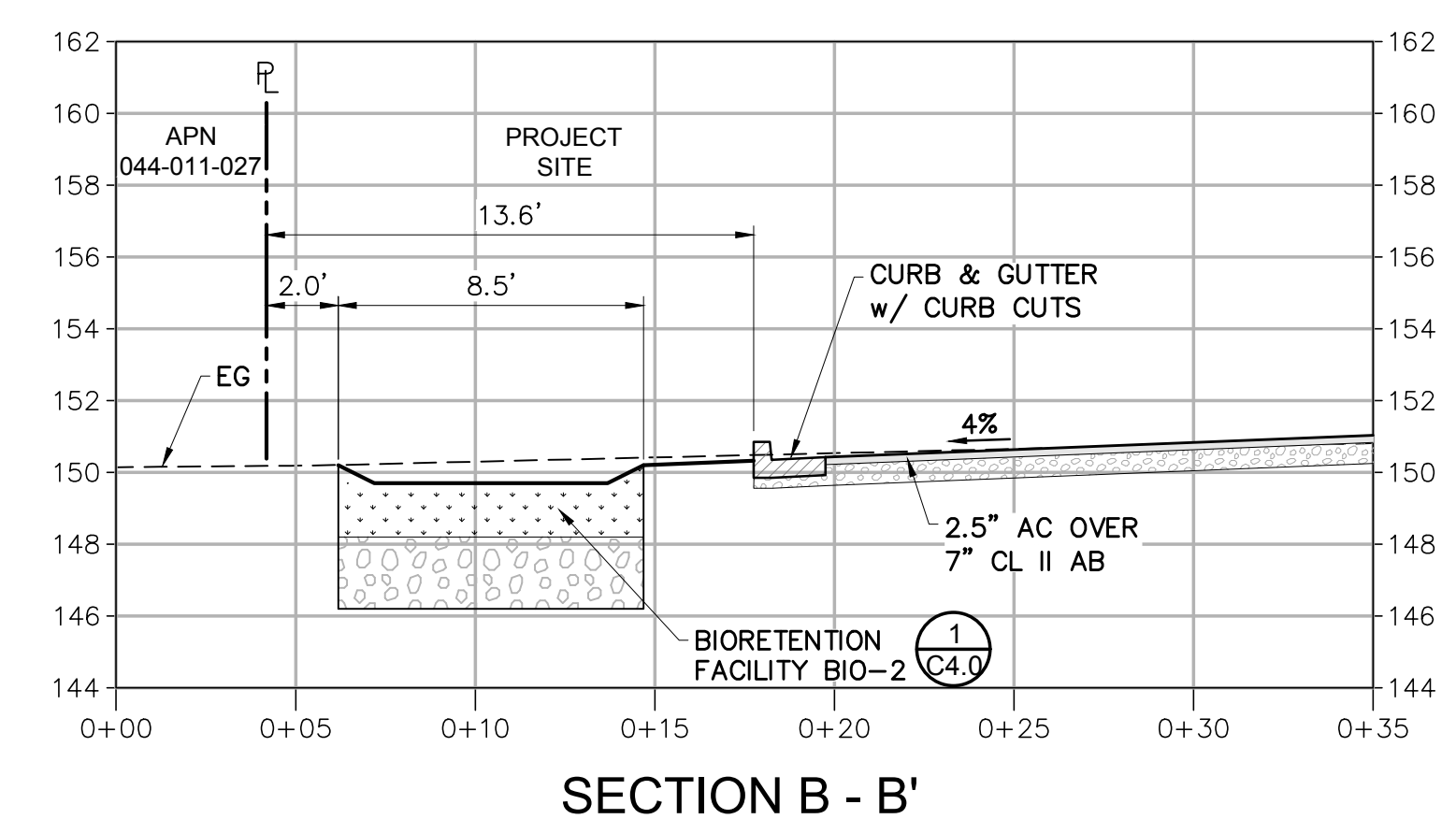
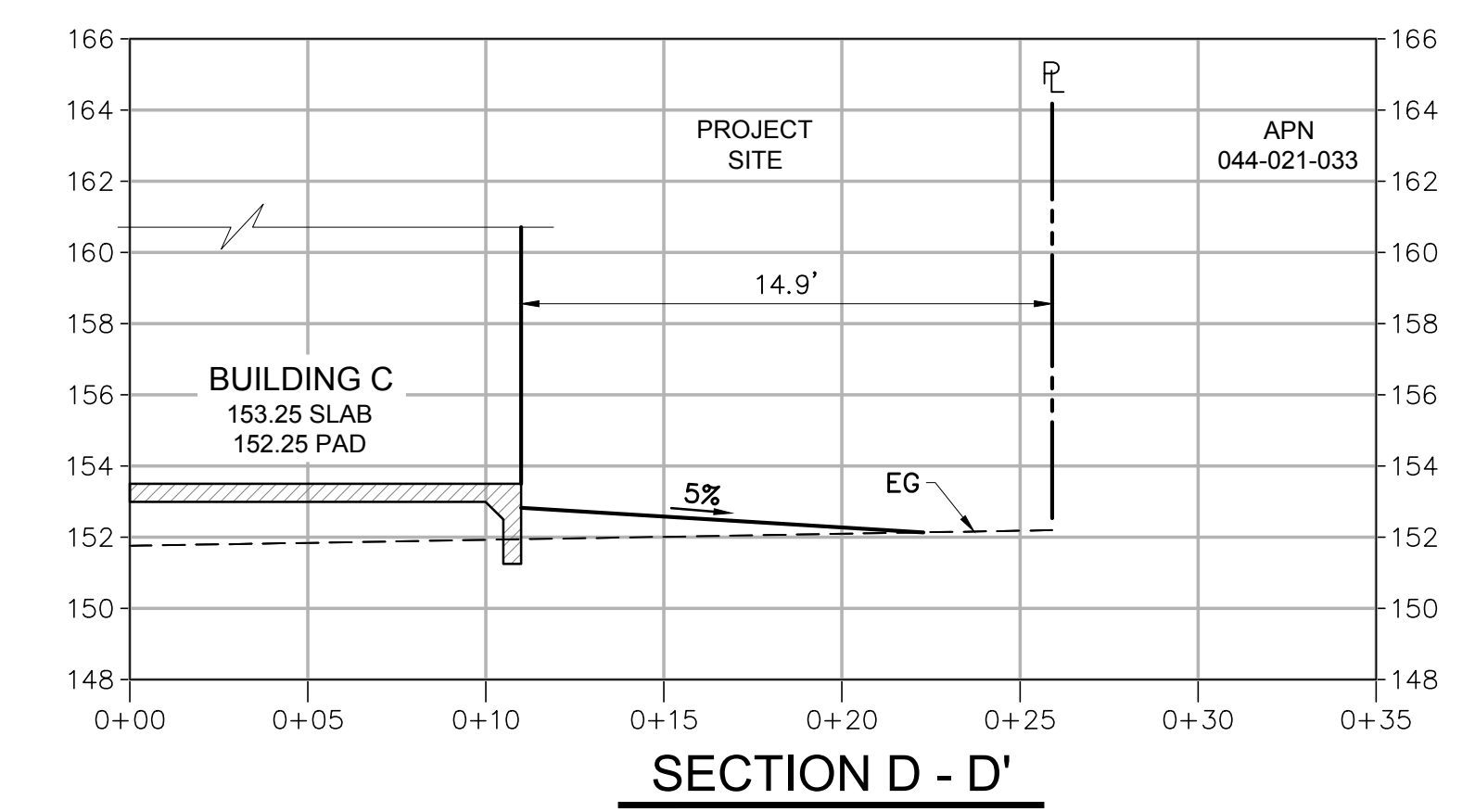
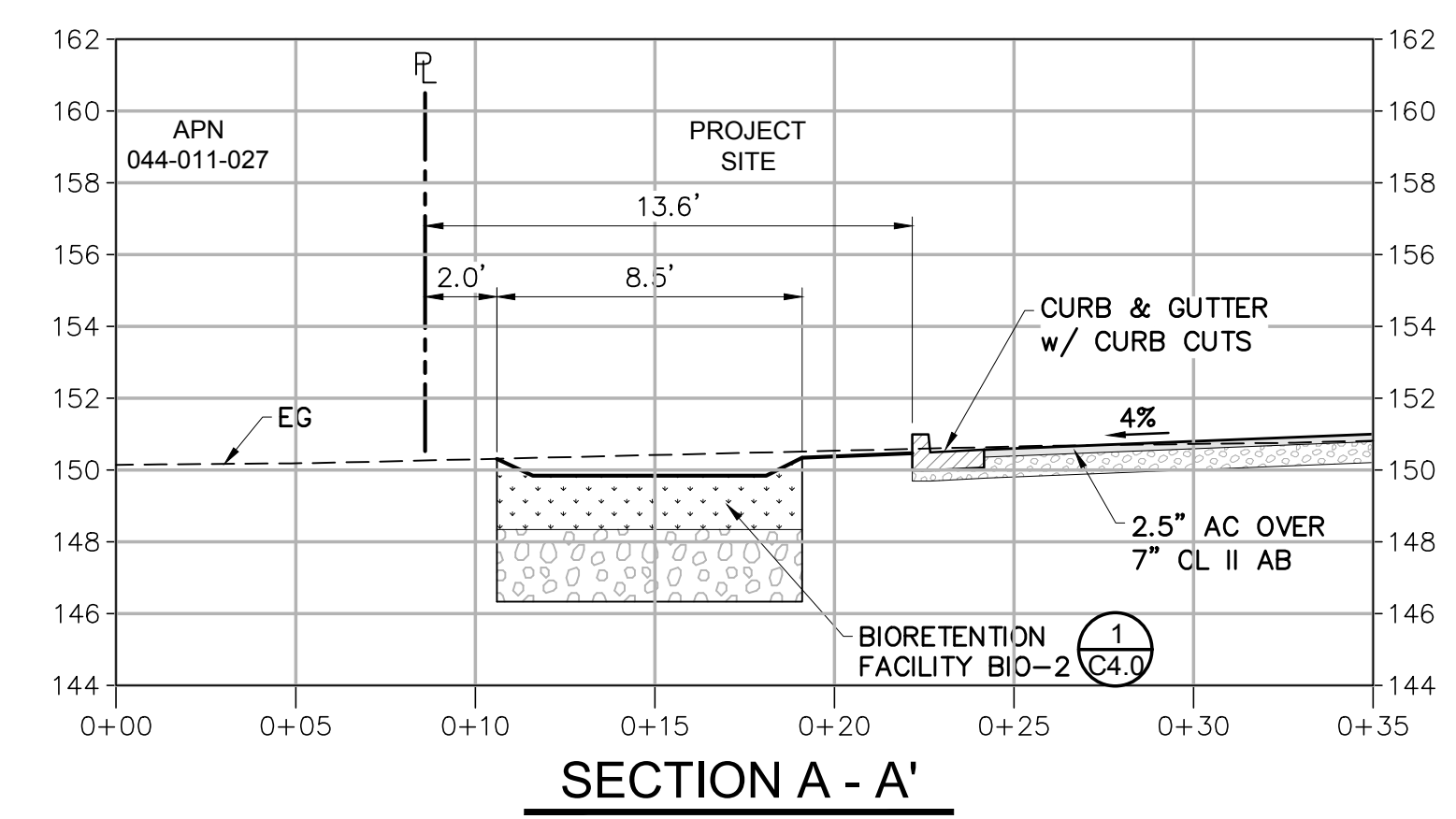
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2 of 8 Sheets
Job 18294



ABBREVIATIONS

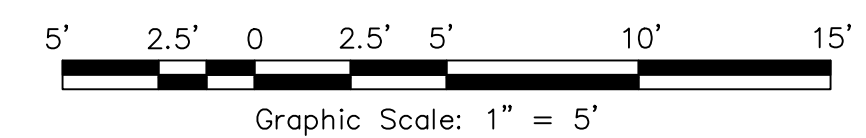
B	BIKE LANE
PA	PLANTING AREA
P	PARKING LANE
PUE	PUBLIC UTILITY EASEMENT
SW	SIDEWALK
T	TRAVEL LANE

- KEY NOTES:**
- "RIGHT-OF-WAY" LINE, 6" OFFSET FROM FRONT OF SIDEWALK, PER CITY OF SANTA ROSA STD.-200J "PARKWAY" STREET SECTION.
 - CENTERLINE SHOWN IS MONUMENT CENTERLINE
 - PROPOSED PUBLIC UTILITY EASEMENT (PUE) IS 6.5' MINIMUM FROM BACK OF CURB
 - BIKE LANE ON COLGAN AVENUE WILL NOT BE STRIPED FOR THIS PROJECT. SPACE FOR A 6' BIKE LANE HAS BEEN PROVIDED FOR FULL BUILD OUT.
 - TWO-WAY LEFT TURN LANE ON COLGAN AVENUE WILL NOT BE STRIPED FOR THIS PROJECT. SPACE FOR THE TWO-WAY LEFT TURN LANE HAS BEEN PROVIDED AND WILL BE STRIPED FOR FULL BUILD OUT.
 - RECONSTRUCTION OF EXISTING STREET PAVEMENT TO STREET CENTER LINE, WITH PAVEMENT SECTION MEETING THE DESIRED "TI" VALUE, MIGHT BE REQUIRED UPON FIELD ASSESSMENT OF PROJECT SOILS ENGINEER OF EXISTING PAVEMENT CONDITION.



LEGEND:
 — FINISHED GRADE
 - - - EXISTING GRADE

PROPERTY LINE SECTIONS



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Revisions	No.	Date	Description	Approved

DESIGN REVIEW

David R. Brown, RCE 41833
 My license expires 3/31/2024

DAVID R. BROWN
 No. 41833
 Exp. 3/31/2024
 CIVIL ENGINEER
 STATE OF CALIFORNIA

MOSAIC APARTMENTS PRELIMINARY SITE IMPROVEMENTS TYPICAL STREET SECTIONS & PL SECTIONS
 1775, 1725, 1683 Petaluma Hill Road

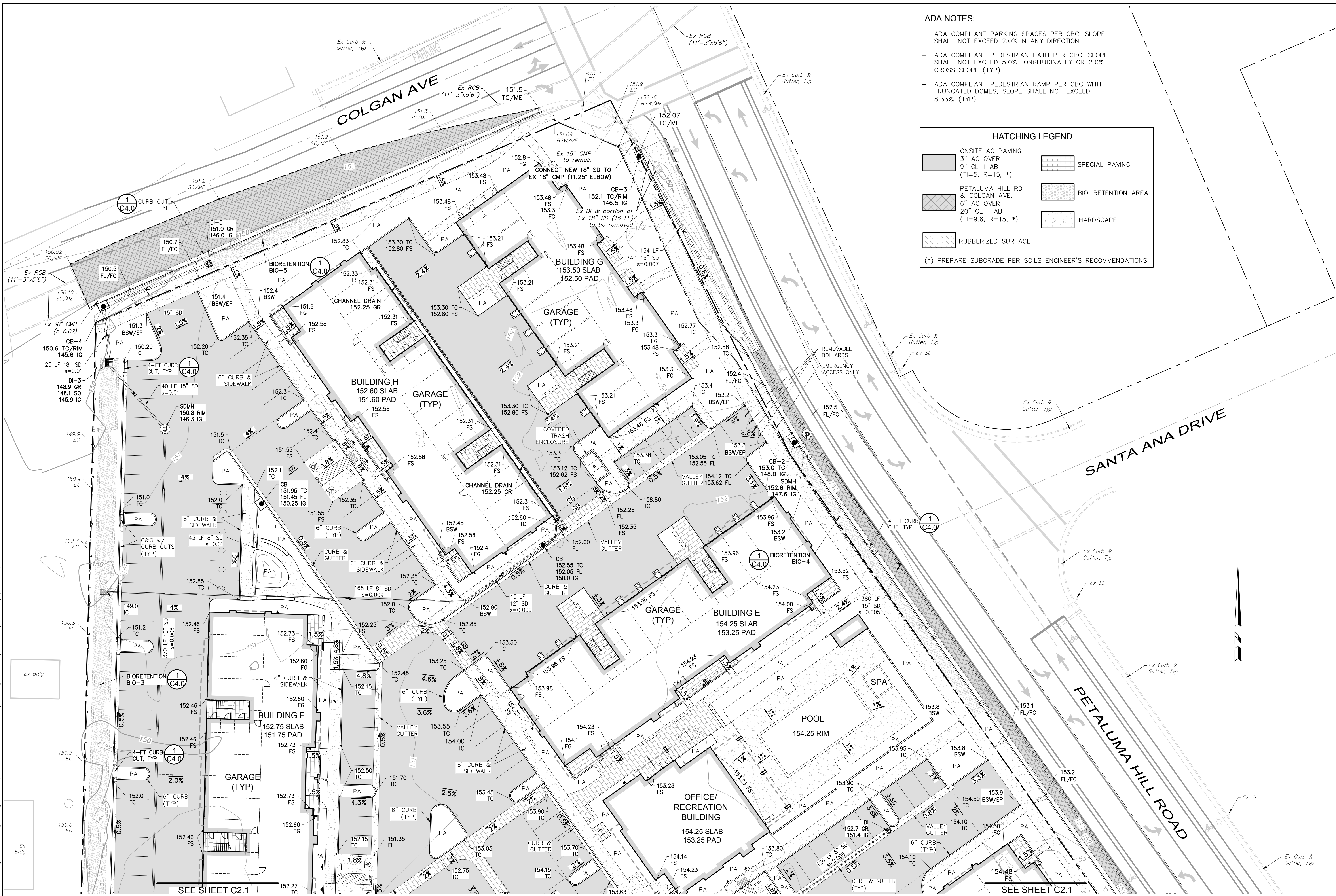
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Date: April 2023
 Design by: JF/BN
 Drawn by: PJP
 Checked by: PRP

Sheet
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 3 of 8 Sheets
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- ADA NOTES:**
- + ADA COMPLIANT PARKING SPACES PER CBC. SLOPE SHALL NOT EXCEED 2.0% IN ANY DIRECTION
 - + ADA COMPLIANT PEDESTRIAN PATH PER CBC. SLOPE SHALL NOT EXCEED 5.0% LONGITUDINALLY OR 2.0% CROSS SLOPE (TYP)
 - + ADA COMPLIANT PEDESTRIAN RAMP PER CBC WITH TRUNCATED DOMES, SLOPE SHALL NOT EXCEED 8.33% (TYP)

HATCHING LEGEND

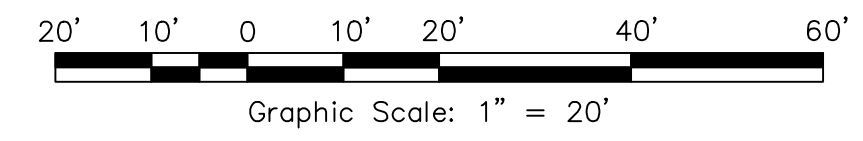
[Hatched Pattern]	ONSITE AC PAVING 3" AC OVER 9" CL II AB (TI=5, R=15, *)	[Hatched Pattern]	SPECIAL PAVING
[Hatched Pattern]	PETALUMA HILL RD & COLGAN AVE. 6" AC OVER 20" CL II AB (TI=9.6, R=15, *)	[Hatched Pattern]	BIO-RETENTION AREA
[Hatched Pattern]	RUBBERIZED SURFACE	[Hatched Pattern]	HARDSCAPE

(* PREPARE SUBGRADE PER SOILS ENGINEER'S RECOMMENDATIONS)

SEE SHEET C2.1 FOR CONTINUATION

SEE SHEET C2.1 FOR CONTINUATION

PRELIMINARY GRADING & DRAINAGE PLAN



		DESIGN REVIEW									
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<p>MOSAIC APARTMENTS PRELIMINARY SITE IMPROVEMENTS PRELIMINARY GRADING & DRAINAGE PLAN 1775, 1725, 1683 Petaluma Hill Road</p>											
SCALE: AS SHOWN Date: April 2023 Design by: JK/RY Drawn by: PJP Checked by: DRB		APN 044-021-072, 071, 035 & 022									
Sheet C2.0 4 of 8 Sheets Job 18294		Revisions <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>Approved</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>		No.	Date	Description	Approved				
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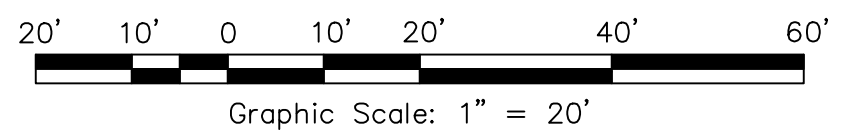
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ADA NOTES:

- + ADA COMPLIANT PARKING SPACES PER CBC. SLOPE SHALL NOT EXCEED 2.0% IN ANY DIRECTION
- + ADA COMPLIANT PEDESTRIAN PATH PER CBC. SLOPE SHALL NOT EXCEED 5.0% LONGITUDINALLY OR 2.0% CROSS SLOPE (TYP)
- + ADA COMPLIANT PEDESTRIAN RAMP PER CBC WITH TRUNCATED DOMES, SLOPE SHALL NOT EXCEED 8.33% (TYP)

PRELIMINARY GRADING PLAN & DRAINAGE PLAN



HATCHING LEGEND	
	ONSITE AC PAVING
	3" AC OVER
	9" CL II AB (TI=5, R=15, *)
	PETALUMA HILL RD & COLGAN AVE. 6" AC OVER 20" CL II AB (TI=9.6, R=15, *)
	RUBBERIZED SURFACE
	SPECIAL PAVING
	BIO-RETENTION AREA
	HARDSCAPE

(*) PREPARE SUBGRADE PER SOILS ENGINEER'S RECOMMENDATIONS

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DAVID R. BROWN
 No. 41833
 Exp. 3/31/2024
 REGISTERED PROFESSIONAL ENGINEER - CIVIL
 STATE OF CALIFORNIA

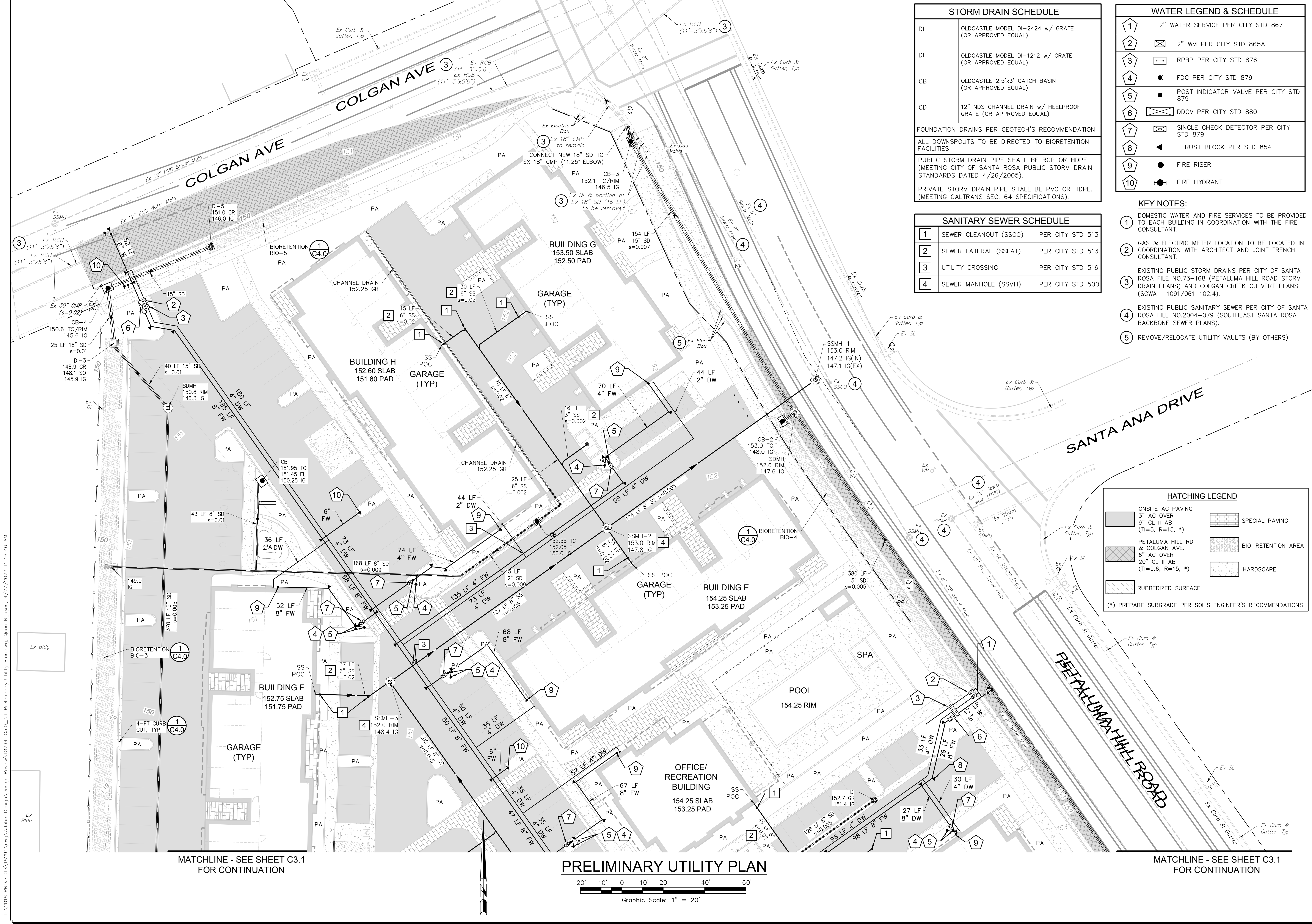
**MOSAIC APARTMENTS
 PRELIMINARY SITE IMPROVEMENTS
 PRELIMINARY GRADING & DRAINAGE PLAN**
 1775, 1725, 1683 Petaluma Hill Road
 Santa Rosa, California
 APN 044-021-072, 071, 035 & 022

SCALE: AS SHOWN

Date: April, 2023
 Design by: JK/PV
 Drawn by: PJP
 Checked by: PRP

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 5 of 8 Sheets
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STORM DRAIN SCHEDULE	
DI	OLDCASTLE MODEL DI-2424 w/ GRATE (OR APPROVED EQUAL)
DI	OLDCASTLE MODEL DI-1212 w/ GRATE (OR APPROVED EQUAL)
CB	OLDCASTLE 2.5'x3' CATCH BASIN (OR APPROVED EQUAL)
CD	12" NDS CHANNEL DRAIN w/ HEELPROOF GRATE (OR APPROVED EQUAL)
FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION	
ALL DOWNSPOUTS TO BE DIRECTED TO BIORETENTION FACILITIES	
PUBLIC STORM DRAIN PIPE SHALL BE RCP OR HDPE. (MEETING CITY OF SANTA ROSA PUBLIC STORM DRAIN STANDARDS DATED 4/26/2005).	
PRIVATE STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	

SANITARY SEWER SCHEDULE	
1	SEWER CLEANOUT (SSCO) PER CITY STD 513
2	SEWER LATERAL (SSLAT) PER CITY STD 513
3	UTILITY CROSSING PER CITY STD 516
4	SEWER MANHOLE (SSMH) PER CITY STD 500

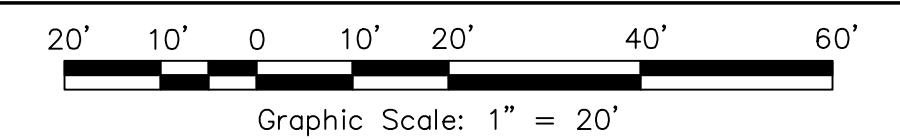
WATER LEGEND & SCHEDULE	
1	2" WATER SERVICE PER CITY STD 867
2	2" WM PER CITY STD 865A
3	RPBP PER CITY STD 876
4	FDC PER CITY STD 879
5	POST INDICATOR VALVE PER CITY STD 879
6	DDCV PER CITY STD 880
7	SINGLE CHECK DETECTOR PER CITY STD 879
8	THRUST BLOCK PER STD 854
9	FIRE RISER
10	FIRE HYDRANT

- KEY NOTES:**
- DOMESTIC WATER AND FIRE SERVICES TO BE PROVIDED TO EACH BUILDING IN COORDINATION WITH THE FIRE CONSULTANT.
 - GAS & ELECTRIC METER LOCATION TO BE LOCATED IN COORDINATION WITH ARCHITECT AND JOINT TRENCH CONSULTANT.
 - EXISTING PUBLIC STORM DRAINS PER CITY OF SANTA ROSA FILE NO.73-168 (PETALUMA HILL ROAD STORM DRAIN PLANS) AND COLGAN CREEK CULVERT PLANS (SCWA 1-1091/061-102.4).
 - EXISTING PUBLIC SANITARY SEWER PER CITY OF SANTA ROSA FILE NO.2004-079 (SOUTHEAST SANTA ROSA BACKBONE SEWER PLANS).
 - REMOVE/RELOCATE UTILITY VAULTS (BY OTHERS)

HATCHING LEGEND	
[Hatch Pattern]	ONSITE AC PAVING
[Hatch Pattern]	3" AC OVER
[Hatch Pattern]	9" CL II AB (TI=5, R=15, *)
[Hatch Pattern]	PETALUMA HILL RD & COLGAN AVE. 6" AC OVER
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[Hatch Pattern]	SPECIAL PAVING
[Hatch Pattern]	BIO-RETENTION AREA
[Hatch Pattern]	HARDSCAPE

(*) PREPARE SUBGRADE PER SOILS ENGINEER'S RECOMMENDATIONS

PRELIMINARY UTILITY PLAN



MATCHLINE - SEE SHEET C3.1 FOR CONTINUATION

MATCHLINE - SEE SHEET C3.1 FOR CONTINUATION

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 P: (707) 541-2300 F: (707) 541-2301
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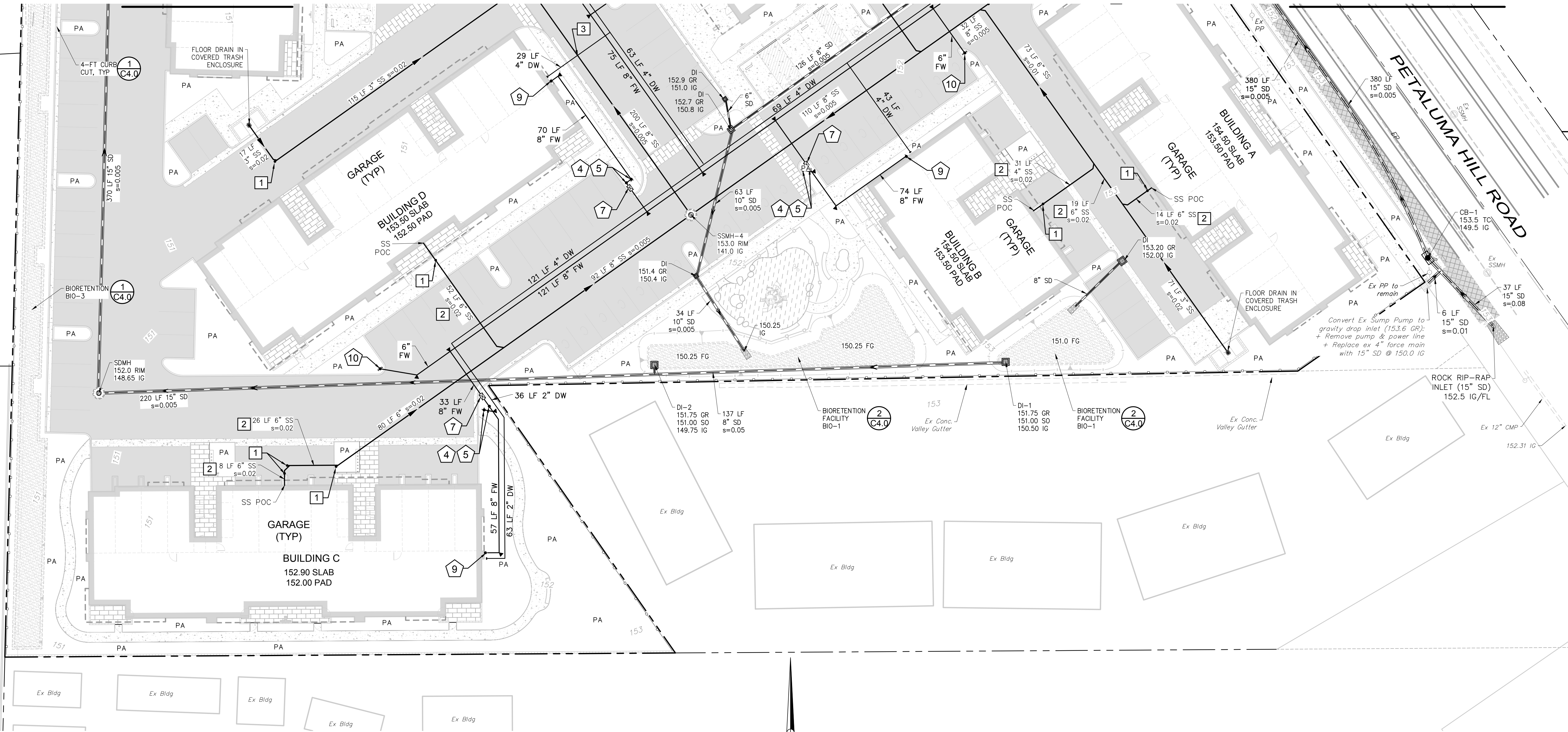
MOSAIC APARTMENTS PRELIMINARY SITE IMPROVEMENTS PRELIMINARY UTILITY PLAN
 1775, 1725, 1683 Petaluma Hill Road
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SCALE: AS SHOWN
 Date: April 2023
 Design by: JK/BN
 Drawn by: PJP
 Checked by: PRP

Sheet **C3.0**
 6 of 8 Sheets
 Job 18294

MATCHLINE - SEE SHEET C3.0
FOR CONTINUATION

MATCHLINE - SEE SHEET C3.0
FOR CONTINUATION



SANITARY SEWER SCHEDULE		
1	SEWER CLEANOUT (SSCO)	PER CITY STD 513
2	SEWER LATERAL (SSLAT)	PER CITY STD 513
3	UTILITY CROSSING	PER CITY STD 516
4	SEWER MANHOLE (SSMH)	PER CITY STD 500

- KEY NOTES:**
- 1 DOMESTIC WATER AND FIRE SERVICES TO BE PROVIDED TO EACH BUILDING IN COORDINATION WITH THE FIRE CONSULTANT.
 - 2 GAS & ELECTRIC METER LOCATION TO BE LOCATED IN COORDINATION WITH ARCHITECT AND JOINT TRENCH CONSULTANT.

WATER LEGEND & SCHEDULE		
1	2" WATER SERVICE PER CITY STD 867	
2	2" WM PER CITY STD 865A	
3	RPPB PER CITY STD 876	
4	FDC PER CITY STD 879	
5	POST INDICATOR VALVE PER CITY STD 879	
6	DDCV PER CITY STD 880	
7	SINGLE CHECK DETECTOR PER CITY STD 879	
8	THRUST BLOCK PER STD 854	
9	FIRE 1" R	
10	FIRE HYDRANT	



PRELIMINARY UTILITY PLAN

HATCHING LEGEND	
[Hatched Box]	ON-SITE AC PAVING 3" AC OVER 9" CL II AB (TI=5, R=15, *)
[Hatched Box]	PETALUMA HILL RD & COLGAN AVE. 6" AC OVER 20" CL II AB (TI=9.6, R=15, *)
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[Hatched Box]	HARDSCAPE

(*) PREPARE SUBGRADE PER SOILS ENGINEER'S RECOMMENDATIONS

STORM DRAIN SCHEDULE	
DI	OLDCASTLE MODEL DI-2424 w/ GRATE (OR APPROVED EQUAL)
DI	OLDCASTLE MODEL DI-1212 w/ GRATE (OR APPROVED EQUAL)
CB	OLDCASTLE 2.5'x3' CATCH BASIN (OR APPROVED EQUAL)
CD	12" NDS CHANNEL DRAIN w/ HEELPROOF GRATE (OR APPROVED EQUAL)

FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION

ALL DOWNSPOUTS TO BE DIRECTED TO BIORETENTION FACILITIES

PUBLIC STORM DRAIN PIPE SHALL BE RCP OR HDPE. (MEETING CITY OF SANTA ROSA PUBLIC STORM DRAIN STANDARDS DATED 4/26/2005).

PRIVATE STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).

T:\2018 PROJECTS\18294\Jung\Adobe-Design\Review\18294-C3.0_3_1_Preliminary Utility Plan.dwg, Quan Nguyen, 4/19/2023, 3:18:15 PM

SCALE: AS SHOWN

Date: April 2023

Design by: JK/RY

Drawn by: PJP

Checked by: PRP

Sheet

C3.1

7 of 8 Sheets

Job 18294

Revisions

No.	Date	Description	Approved

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P: (707) 541-2300 F: (707) 541-2301

Website: www.adobeinc.com

DESIGN REVIEW

David R. Brown, RCE 41833

My license expires 3/31/2024

MOSAIC APARTMENTS

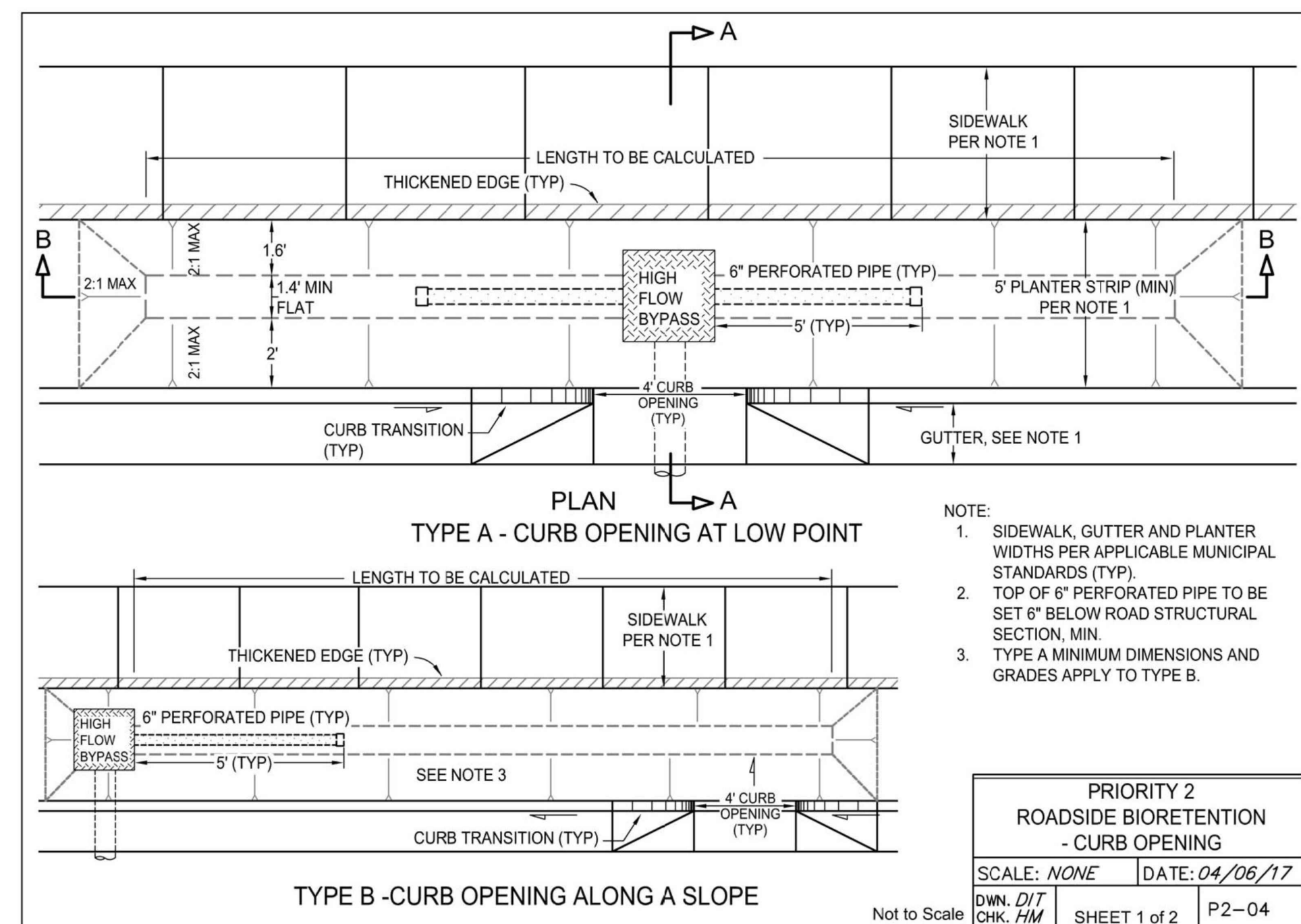
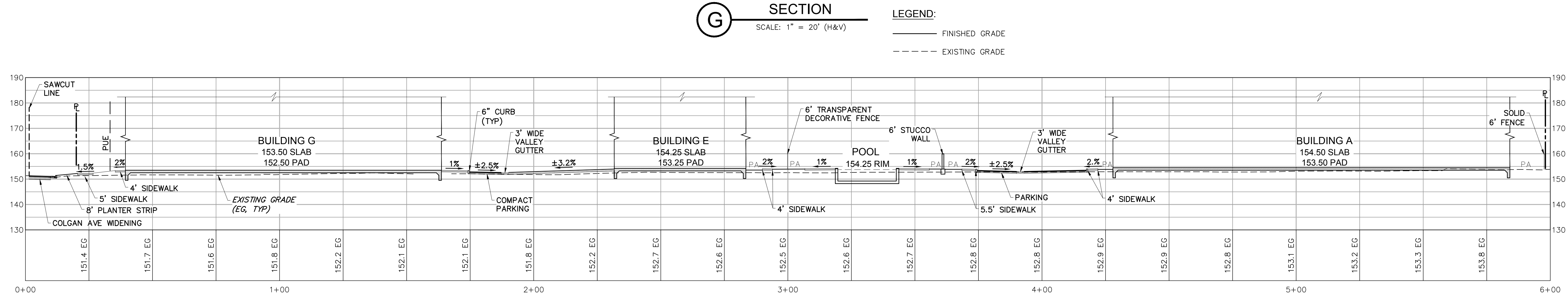
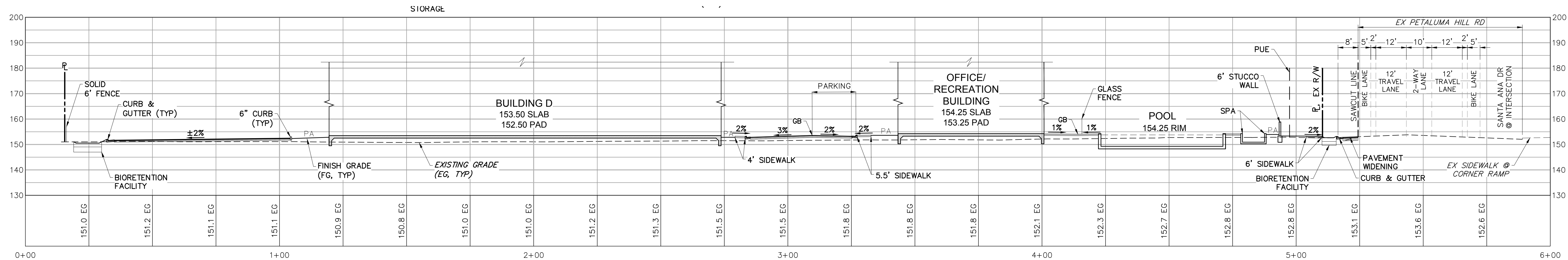
PRELIMINARY SITE IMPROVEMENTS

PRELIMINARY UTILITY PLAN

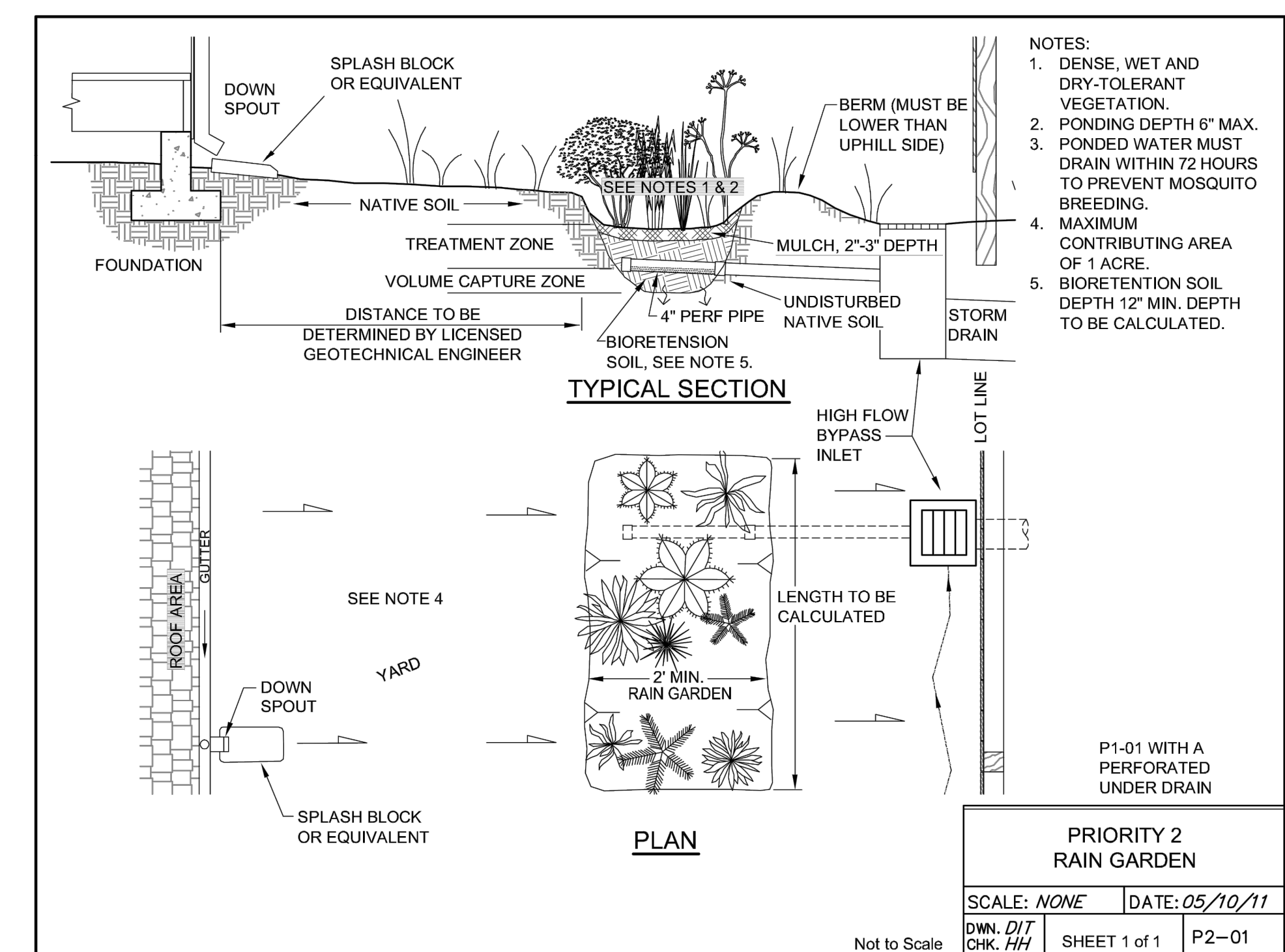
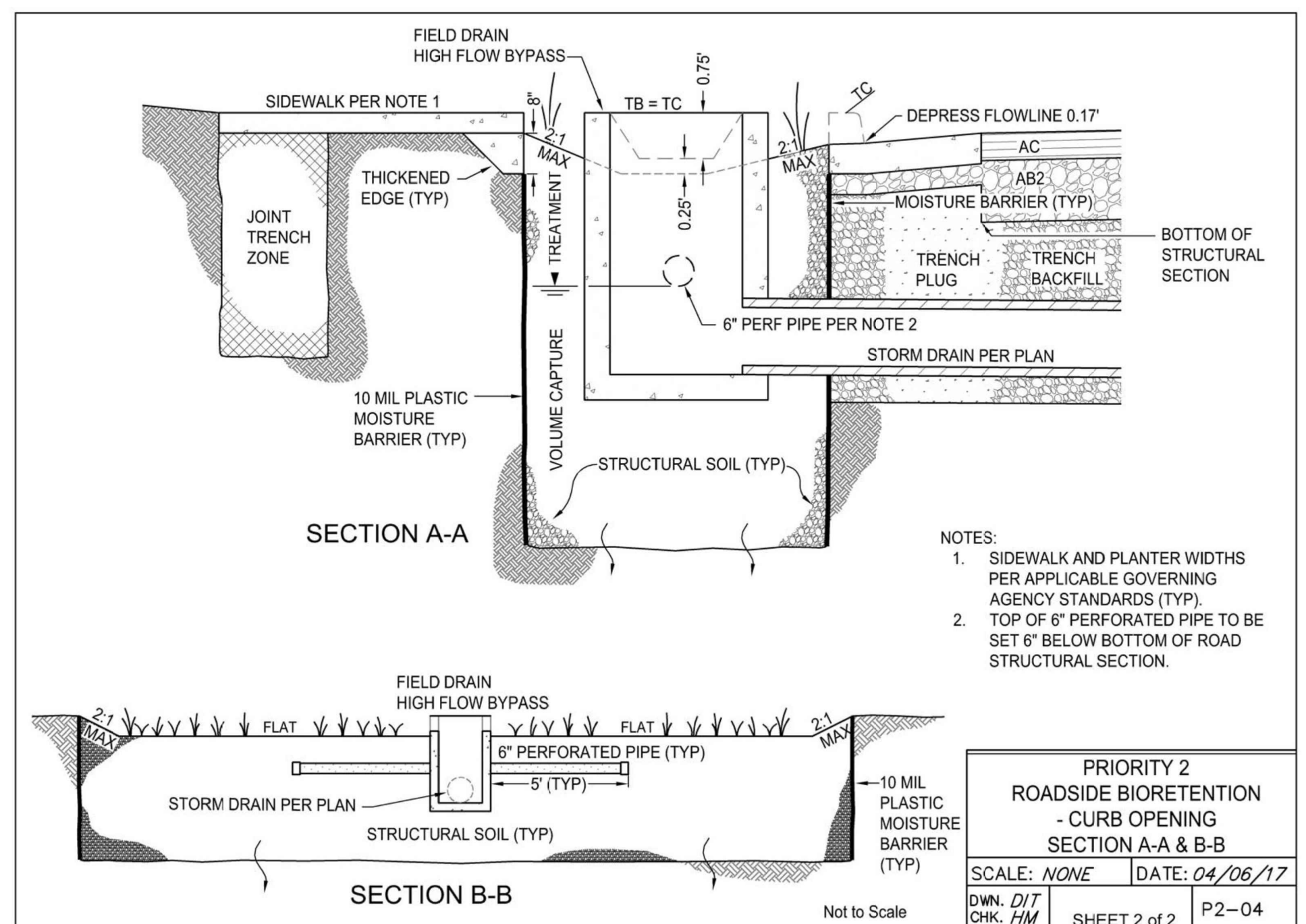
1775, 1725, 1683 Petaluma Hill Road

Santa Rosa, California

APN 044-021-072, 071, 035 & 022



1
ROADSIDE BIORETENTION DETAIL
(PER CITY OF SANTA ROSA LID MANUAL Rev 4/112022)
(NOT TO SCALE)



2
RAIN GARDEN DETAIL
(PER CITY OF SANTA ROSA LID MANUAL Rev 4/112022)
(NOT TO SCALE)

T:\2018 PROJECTS\18294\dwg\Adobe-Design\Review\18294-C4.0 Site Sections & Typical Details.dwg, Quan Nguyen, 4/27/2023 11:19:37 AM

Revisions	No.	Date	Description	Approved

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 1220 N. Dutton Ave., Santa Rosa, CA 95401
 P: (707) 541-2300 F: (707) 541-2301
 Website: www.adobeinc.com
 *A Service You Can Count On!

DESIGN REVIEW

DAVID R. BROWN
 REGISTERED PROFESSIONAL ENGINEER - CIVIL
 No. 41933
 Exp. 3/31/2024
 State of CA

David R. Brown, RCE 41833
 My license expires 3/31/2024

**MOSAIC APARTMENTS
 PRELIMINARY SITE IMPROVEMENTS
 SITE SECTIONS & TYPICAL DETAILS**
 1775, 1725, 1683 Petaluma Hill Road
 Santa Rosa, California
 APN 044-021-072, 071, 035 & 022

SCALE: AS SHOWN

Date: April 2023
 Design by: JK/BN
 Drawn by: PDP
 Checked by: DRP

Sheet **C4.0**
 8 of 8 Sheets
 Job 18294