

PLANNING SUBMITTAL DRAWINGS FOR:
McNeill Real Estate Services, Inc.
HERITAGE COMMERCE CENTER
 NORTHPOINT PARKWAY AT MARINER WAY
 SANTA ROSA, CALIFORNIA



RMW Architecture Interiors 1718 Third Street Suite 101 Sacramento California 95811

Office 916 449-1400

rmw.com

CLIENT:

McNeill Real Estate Services, Inc.
 Jose McNeill
 5254 Tapestry Ct. - Fairfield, CA 94534
 (916) 718-5659
 Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

HERITAGE COMMERCE CENTER

NORTHPOINT PARKWAY AT MARINER WAY
 SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

issue	description	date
A	ISSUED FOR REVIEW	09-15-2023



VIEW OF NORTH EAST CORNER

PROJECT NARRATIVE:

Design concept: The design concept and design approach for the building is based on and takes its cues from the architectural style of modernism which is characterized by clean geometric forms and clean lines with an emphasis on the horizontal aspect of the building's facade.

Site: The project site is located on the Southwest side of Northpoint Parkway and Mariner Ways, in the City of Santa Rosa, California. The 4.44 acre site is currently undeveloped.

Building: The project plan proposes one industrial building totaling 74,960.5 square feet. The industrial buildings will be of Type VB construction, site cast, tilted concrete panels with a variety of architectural enhancements. The typical wall panels are to be enhanced with reveals and a textured elastomeric, multicolored coating system. The areas around the building entries are also enhanced with tinted glazing in aluminum frames with overhead steel-framed painted canopies. The placement of these enhancements is focused at those locations most visible from the public roadways.

Site Access and Parking: One site entrance drive is proposed along Northpoint Parkway. Two more entries to be provided along Mariner Way for employees and visitors. The site plan proposes a total of 81 vehicle parking stalls for employees and/or customers.

Signage: The proposed signage in this submittal is for reference only. Criteria for future tenant signage will be provided at a later date and under a separate permit as required.

Landscaping: The project will be fully landscaped using plants appropriate for and indigenous to the City of Santa Rosa. Low water use plants will be used extensively, while moderate water use plants will be concentrated at accent points, such as driveways and building entries.

Sustainable Materials & Construction Practices: The project will incorporate a variety of sustainable materials and construction practices to include the following: 1) A storm water pollution prevention plan to minimize contamination, erosion, and dust pollution during construction. All storm water runoff from impervious surfaces (roofs and paving) will be routed through a specially designed water quality detention and treatment basin. Additionally, if needed, on-site detention will be provided to meet the City of Santa Rosa standards. 2) Storage and collection of recyclable materials. 3) Construction waste management. 4) Environmental tobacco smoke control. 5) Heat reflecting roof membranes. 6) Light pollution reduction. 7) Water efficient landscaping. 8) Water use reduction methods. 9) Low VOC emitting sealants, adhesives, coatings, floorings, and wood materials. 10) Roof structures designed to accommodate additional weight for roof-top photovoltaic electricity generation panel arrays. 11) California Green Building Code compliant electric vehicle charging stations at eight locations. 12) The project architect is a LEED accredited professional and will apply his knowledge of LEED techniques and practices to the project design and construction.

VICINITY MAP:



PROJECT TEAM:

OWNER:
 McNeill Real Estate Services, Inc.
 5254 TAPESTRY CT.
 FAIRFIELD, CA 94534
 P: 916-718-5659

ARCHITECT:
 RMW ARCHITECTURE & INTERIORS
 1718 3RD STREET, SUITE 101
 SACRAMENTO, CA 95811
 P: 916-449-1400 x405

CIVIL ENGINEER:
 BC ENGINEERING GROUP INC.
 4188 B STREET - 3rd FLOOR
 SANTA ROSA, CA 95401
 P: 707-542-4321

LANDSCAPE DESIGNER:
 DESIREE GARON
 308 HATCHERY LANE
 SONOMA, CA 95476
 P: 707-694-6139

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* DENOTES A SHEET TO BE PRINTED IN FULL COLOR

drawn by : TG plot date : 09-15-2023

checked by : AGJDL

stamp



scale : AS NOTED

project number : 2204025.00

COVER SHEET

sheet no. :

A00.1

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C: VIEW OF NORTH EAST CORNER



A: VIEW OF SOUTH EAST CORNER



B: VIEW OF NORTH WEST CORNER

PROJECT RENDERINGS

SCALE: NO SCALE

1

drawn by : TG plot date : 09-15-2023

checked by : AG/JDL

stamp



scale : AS NOTED

project number : 2204025.00

**PROJECT
RENDERINGS**

sheet no. :

A00.2

SITE INFORMATION / STATISTICS:

APN: 035-530-022-000
 ZONING: IG - LIGHT INDUSTRIAL
 TOTAL GROSS SITE AREA: 181,445.64 G.S.F. = 4.44 ACRES
 BUILDING AREA: 74,960.5 G.S.F.
 SITE COVERAGE: 41.31 %
 CONSTRUCTION TYPE: V-B
 BUILDING HEIGHT: 36'-4"
 CLEAR HEIGHT: 28'-0"
 NUMBER OF STORIES: 1
 PARKING: 81 STALLS TOTAL
 PARKING STANDARDS: (SANTA ROSA ZONING CODE 20-36.040 TABLE 3.4)
 • WAREHOUSING 1700 S.F. OR AS DETERMINED BY CUP. THE GROSS FLOOR AREA MAY INCLUDE ACCESSORY OFFICE SPACE COMPRISING LESS THAN 5% OF THE GROSS FLOOR AREA
 (74,960.5 S.F. @ 1700 S.F. = 107.09 = 108 STALLS)
 (108 STALLS WITH 25% PARKING REDUCTION = 81 STALLS)

• REQUIRED: 108 STALLS / 81 STALLS WITH 25% REDUCTION
 • PROVIDED: 81 STALLS
 • STANDARD STALLS: 58 9' X 19' (17' WITH A 2'-0" OVERHANG)
 • COMPACT STALLS: 23 8' X 16' (14' WITH A 2'-0" OVERHANG) 28% OF TOTAL STALLS

ACCESSIBLE & DESIGNATED PARKING STALLS (REQUIRED AND PROVIDED):

PER 2022 CBC TABLE 11B-208.2: 76 TO 100 STALLS, 4 STALLS REQUIRED TO BE ACCESSIBLE STALLS: EVERY 6 OR FRACTION OF SIX, AT LEAST ONE SHALL BE VAN PARKING, 4 ADA STALLS (INCLUDING 1 VAN ACCESSIBLE STALLS) PROVIDED.

PER 2022 CALIFORNIA GREEN BUILDING CODE TABLE 5.106.5.3.1: 76 TO 100 STALLS, 17 STALLS REQUIRED TO BE EV CAPABLE SPACES, AND 4 OF THOSE ARE REQUIRED TO BE PROVIDED WITH EVSE.
 PER CBC TABLE 11B-228.3.2.1, 5 TO 25 EVCS STALLS: 1 VAN ACCESSIBLE EVCS, 1 STANDARD ACCESSIBLE EVCS AND 0 AMBULATORY EVCS ARE REQUIRED.
 OF THE 18 EVCS PROVIDED, 1 VAN EVCS, 1 STANDARD ADA EVCS, AND 0 AMBULATORY EVCS ARE PROVIDED AS SHOWN.

BICYCLE PARKING PER SANTA ROSA ZONING CODE 20-36.040 TABLE 3.4
 1 SPACE PER 14,000 SF. OR AS DETERMINED BY CUP.
 74,960.5 SF. / 14,000 SF. = 5.35 = 6 REQUIRED BICYCLE PARKING STALLS

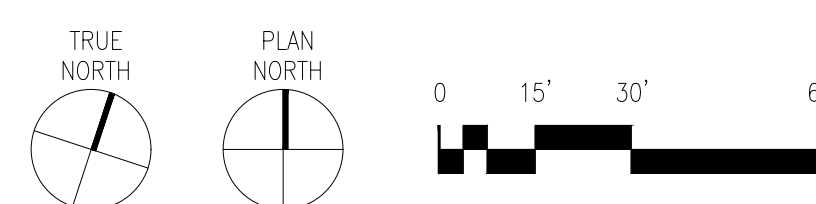
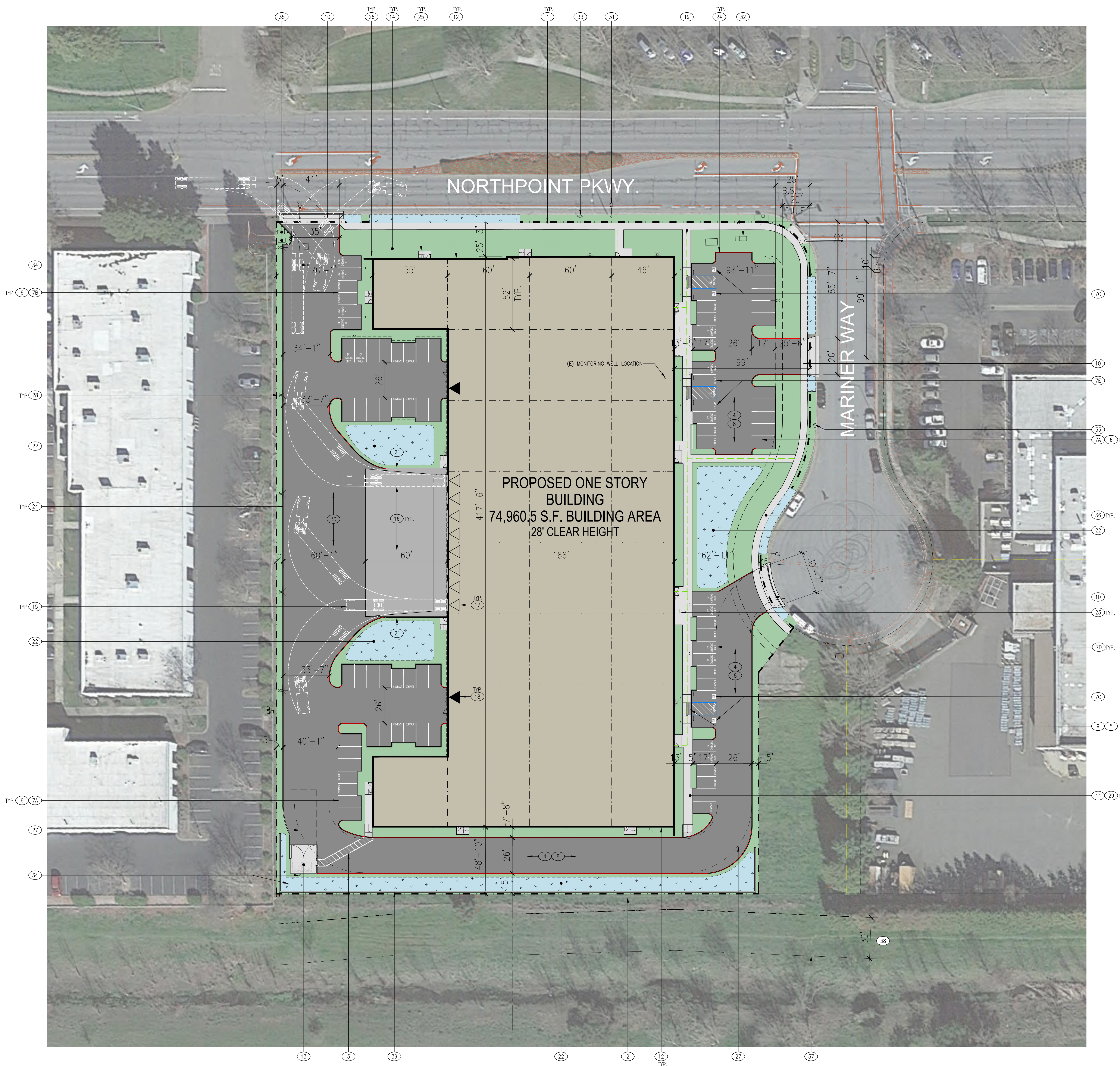
*LONG TERM BICYCLE PARKING TO BE PROVIDED INSIDE THE BUILDING AT TIME OF FUTURE TENANT IMPROVEMENTS

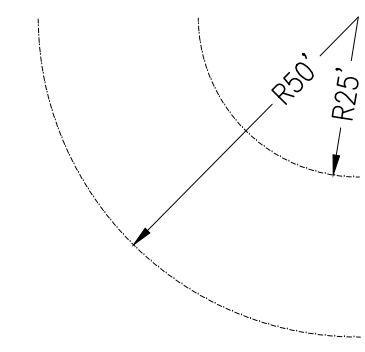
SITE LEGEND:

- | | | | |
|--|------------------------------|--|-------------------------------------|
| | BUILDING AREA | | ASPHALT AREA |
| | SITE CONCRETE | | LANDSCAPE AREA |
| | STORM WATER RETENTION AREA | | |
| | EXISTING PROPERTY LINE | | 9' X 10' OVERHEAD DOCK LEVEL DOOR |
| | FIRE DEPARTMENT TURN RADIUS: | | 12' X 14' OVERHEAD GRADE LEVEL DOOR |

KEYNOTES:

- EXISTING PROPERTY LINES.
- EXISTING FENCE TO BE REMOVED
- STRIPED PATH OF TRAVEL TO TRASH ENCLOSURE
- PARKING AISLE TO BE PERVIOUS ASPHALTIC CONCRETE, SEE CIVIL DRAWINGS FOR MORE INFO
- TYPICAL 6" TALL X 6" WIDE CONCRETE CURBS, SEE CIVIL DRAWINGS
- TYPICAL 4" WIDE TRAFFIC STRIPING
- TYPICAL PARKING:
 - STANDARD STALLS: 9' X 19' OR 9' X 17' WITH 2' PARKING OVERHANG.
 - COMPACT STALLS: 8' X 16' OR 8' X 14' WITH 2' PARKING OVERHANG.
 - ACCESSIBLE PARKING STALLS: 9' X 18' MIN. WITH 2' PARKING OVERHANG WITH MINIMUM 5' OR 8' WIDE LOADING ZONE AS SHOWN SEE DETAIL 12/A01.1.
 - ELECTRIC VEHICLE CHARGING SPACES (STALLS LABELED "ELECTRIC VEHICLE CHARGING"), TO FOLLOW REQUIREMENTS PER CBC 5.106.5.3.1.
 - ACCESSIBLE ELECTRIC VEHICLE CHARGING STALLS, VAN, STANDARD, AND AMBULATORY.
- TYPICAL DRIVE ISLE, 26'-0" WIDE MINIMUM
- CURB RAMP, SEE DETAIL 9/A01.1
- PROPOSED LOCATION OF NEW SITE ACCESS DRIVE CURB CUT, SEE CIVIL DRAWINGS
- NEW CONCRETE PEDESTRIAN WALKS. ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%) WHERE PARKING OVERHANG OCCURS, INCREASE WIDTH OF SIDEWALK TO 6'-0" MIN.
- PROPOSED BUILDING EXTERIOR WALLS TO BE SITE CAST TILTED CONCRETE WALLS WITH REVEALS, A TEXTURED ELASTOMERIC COATING AND A MULTI-COLOR PAINT PALLET. SEE EXTERIOR ELEVATIONS, SHEET A03.1.
- TRASH ENCLOSURE W/ 40FT. APPROACH, SEE DETAILS 1 & 2/A01.1
- TYPICAL LANDSCAPE PLANTER AREA, SEE LANDSCAPE DRAWINGS
- SEMI TRACTOR TRAILER TEMPLATE SHOWN FOR REFERENCE ONLY
- 60" DEPRESSED CONCRETE TRUCK DOCK
- LOADING DOCK VERTICAL LIFT DOORS, TYPICAL
- GRADE LEVEL VERTICAL LIFT DOORS, TYPICAL
- GREEN DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL AT PUBLIC SIDEWALK, TYP.
- LOCATION OF SITE ENTRY SIGN REGARDING PARKING IN ACCESSIBLE PARKING STALLS. SEE DETAIL 15/A01.1
- CURB WITH GUARDRAIL AT EACH SIDE OF LOADING DOCKS, WITH 6" CURB PAINTED "SAFETY YELLOW", TYP. SEE DETAIL 18/A01.1
- STORM WATER RETENTION BASIN, SEE CIVIL DRAWINGS
- BICYCLE RACKS, SEE DETAIL 14/A01.1
- RED DASHED LINE INDICATES FIRE LANES. FIRE LANES TO BE MARKED WITH SIGNS EVERY 50 FEET STATING "NO PARKING FIRE LANE" PER SACRAMENTO METROPOLITAN FIRE DISTRICT STANDARDS.
- DASH-DOT INDICATES AREA OF ASSISTED RESCUE
- LANDSCAPE SETBACK, SEE LANDSCAPE DRAWINGS.
- DASHDOT LINE INDICATES FIRE DEPARTMENT TURNING RADIUS. SEE TYPICAL FIRE TURN RADIUS DIAGRAM 17/A01.1
- SITE LIGHTING 16' MAX. HEIGHT. SEE PHOTOMETRIC PLANS
- DASHED LINE INDICATED 2'-0" PARKING OVERHANG.
- PROPOSED TRUCK ACCESS DRIVE AISLE
- EXISTING STREET LIGHT
- EXISTING UTILITIES, PROTECT. SEE CIVIL DRAWINGS
- EXISTING FIRE HYDRANTS, SEE CIVIL DRAWINGS
- EXISTING MONITORING WELLS, SEE CIVIL DRAWINGS
- EXISTING ELECTRICAL TRANSFORMER AND PG&E, SEE CIVIL DRAWINGS
- PROPOSED NEW SIDEWALK, SEE CIVIL AND LANDSCAPE DRAWINGS
- CREEK TOP OF BANK, SEE CIVIL DRAWINGS
- 30' CREEK SETBACK, SEE CIVIL DRAWINGS
- 3' CONCRETE RETAINING WALL, SEE CIVIL DRAWINGS

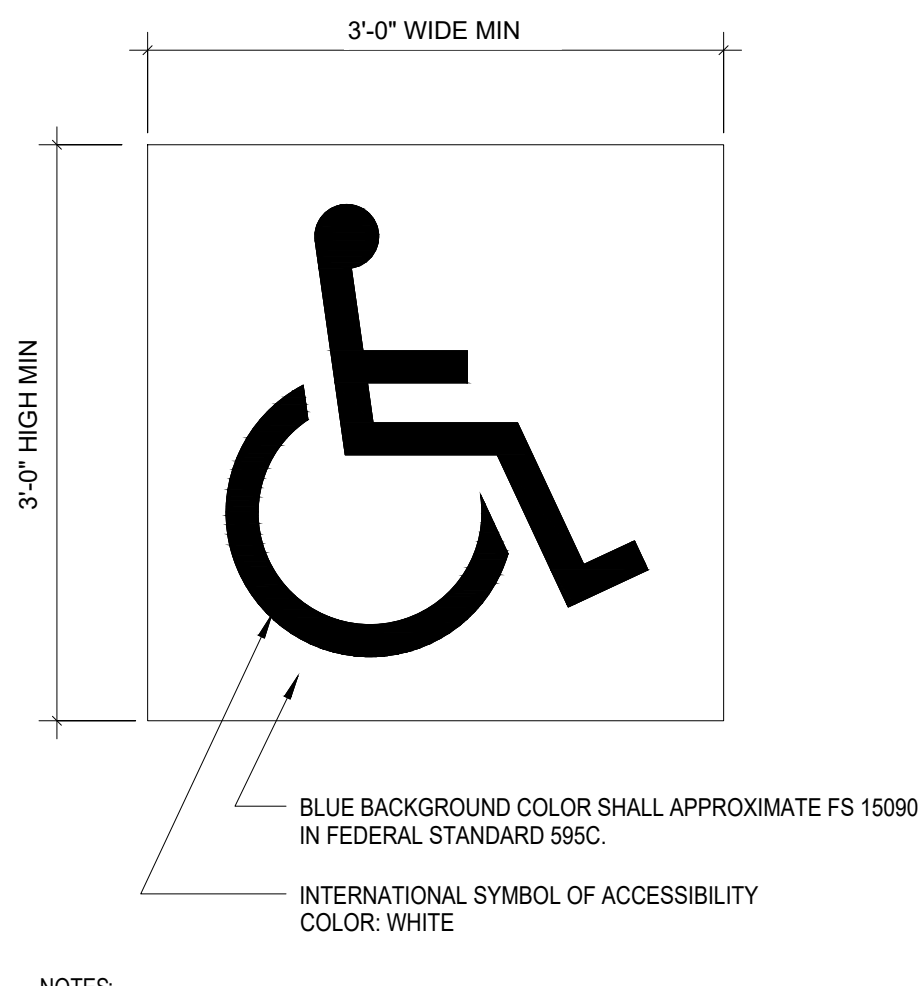




TYPICAL FIRE TURN RADIUS

SCALE: 1" = 30'-0"

17

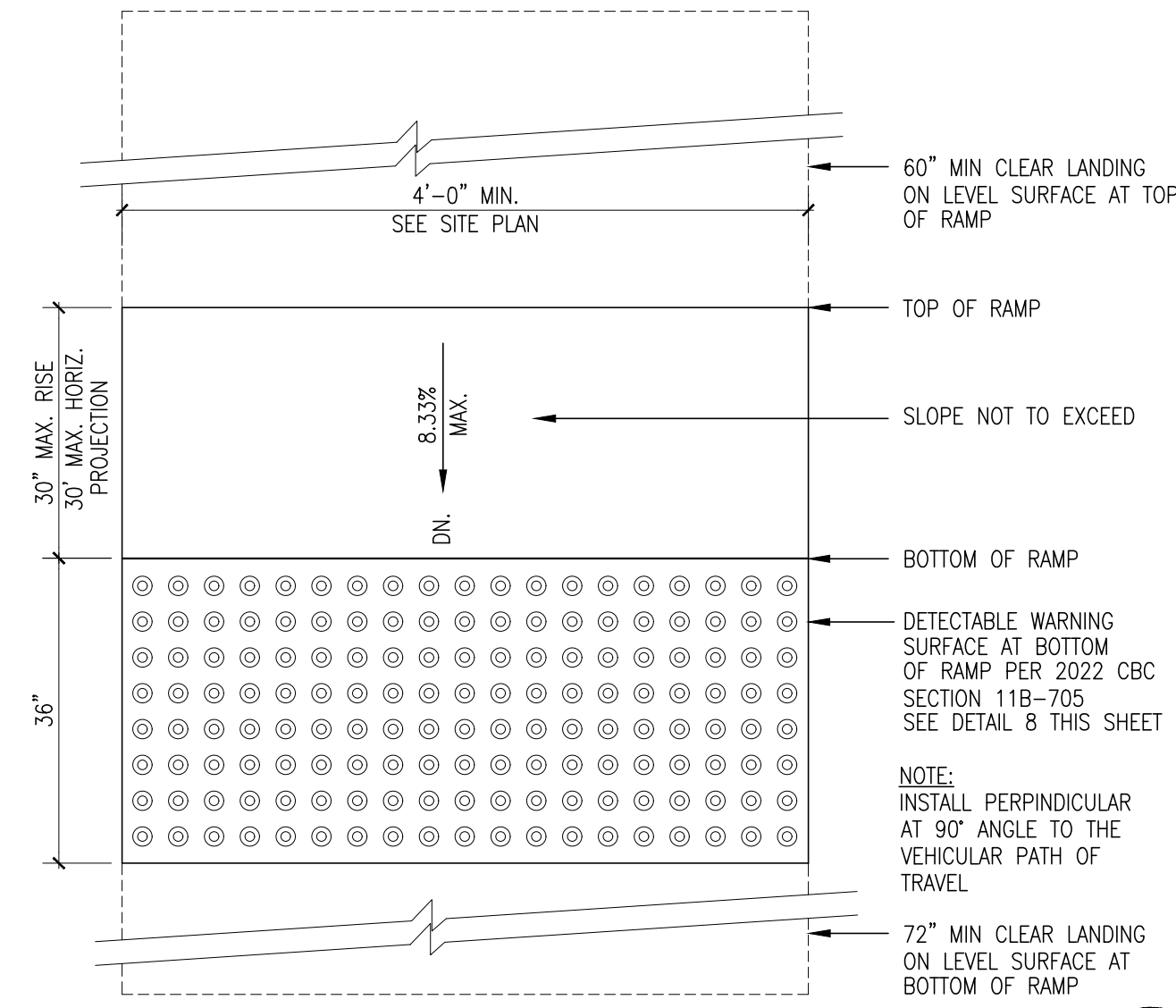


BLUE BACKGROUND COLOR SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C
INTERNATIONAL SYMBOL OF ACCESSIBILITY
COLOR: WHITE

ACCESSIBLE SYMBOL AT ACCESSIBLE PARKING STALLS

SCALE: 1" = 1'-0"

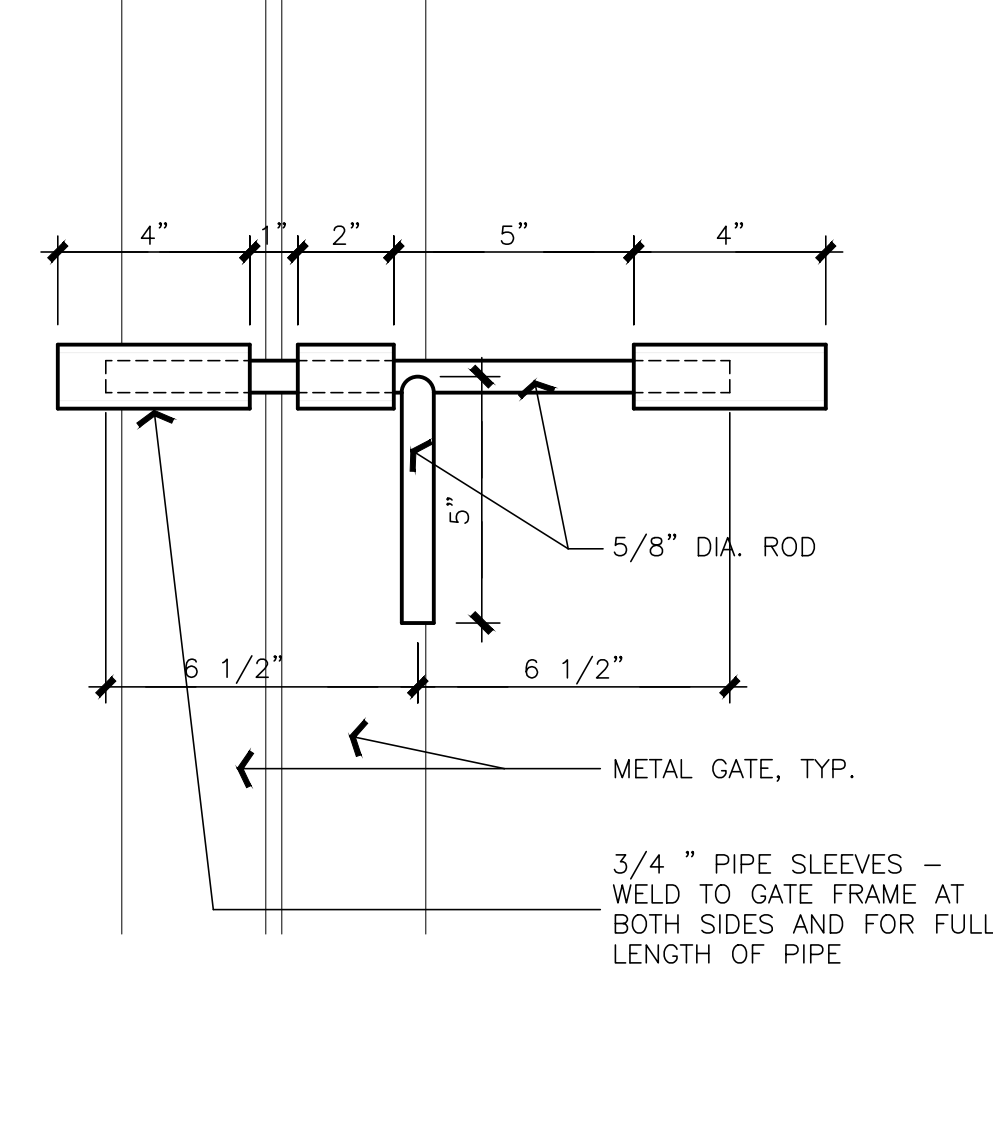
13



TYPICAL RAMP DETAIL

SCALE: 1" = 1'-0"

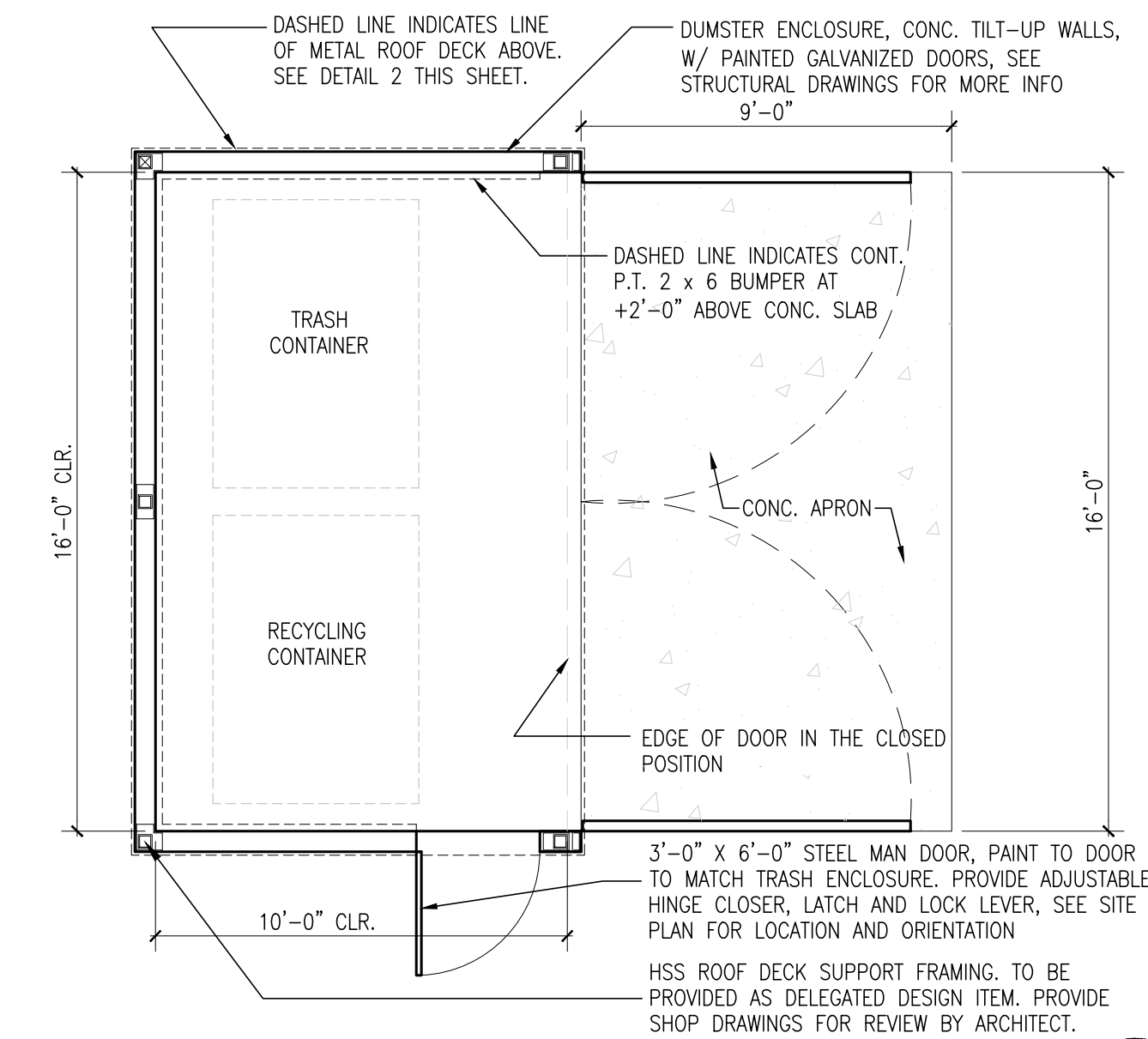
9



SIDE BOLT ELEVATION AT HEAD

SCALE: 3/8" = 1'-0"

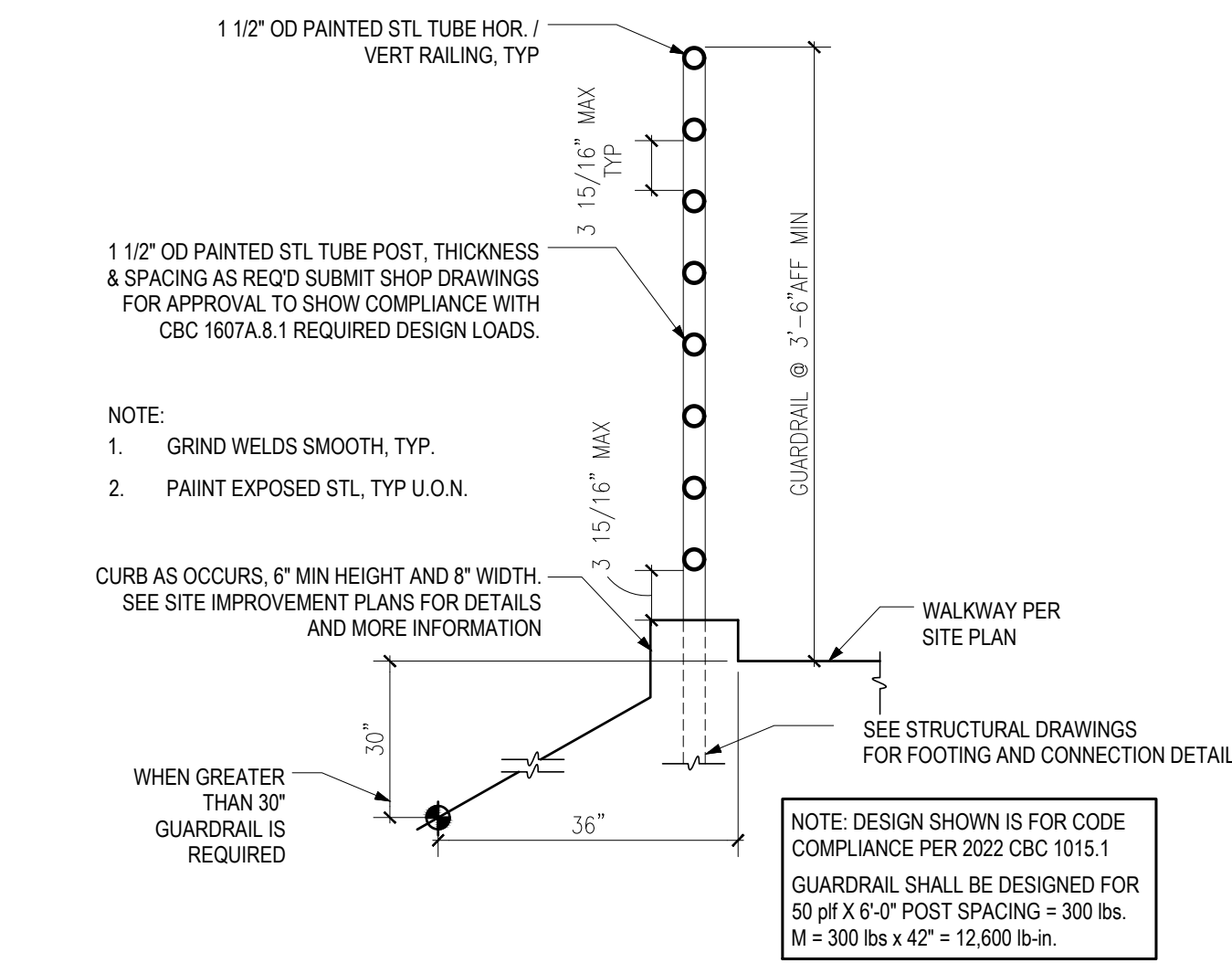
5



DUMPSTER ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"

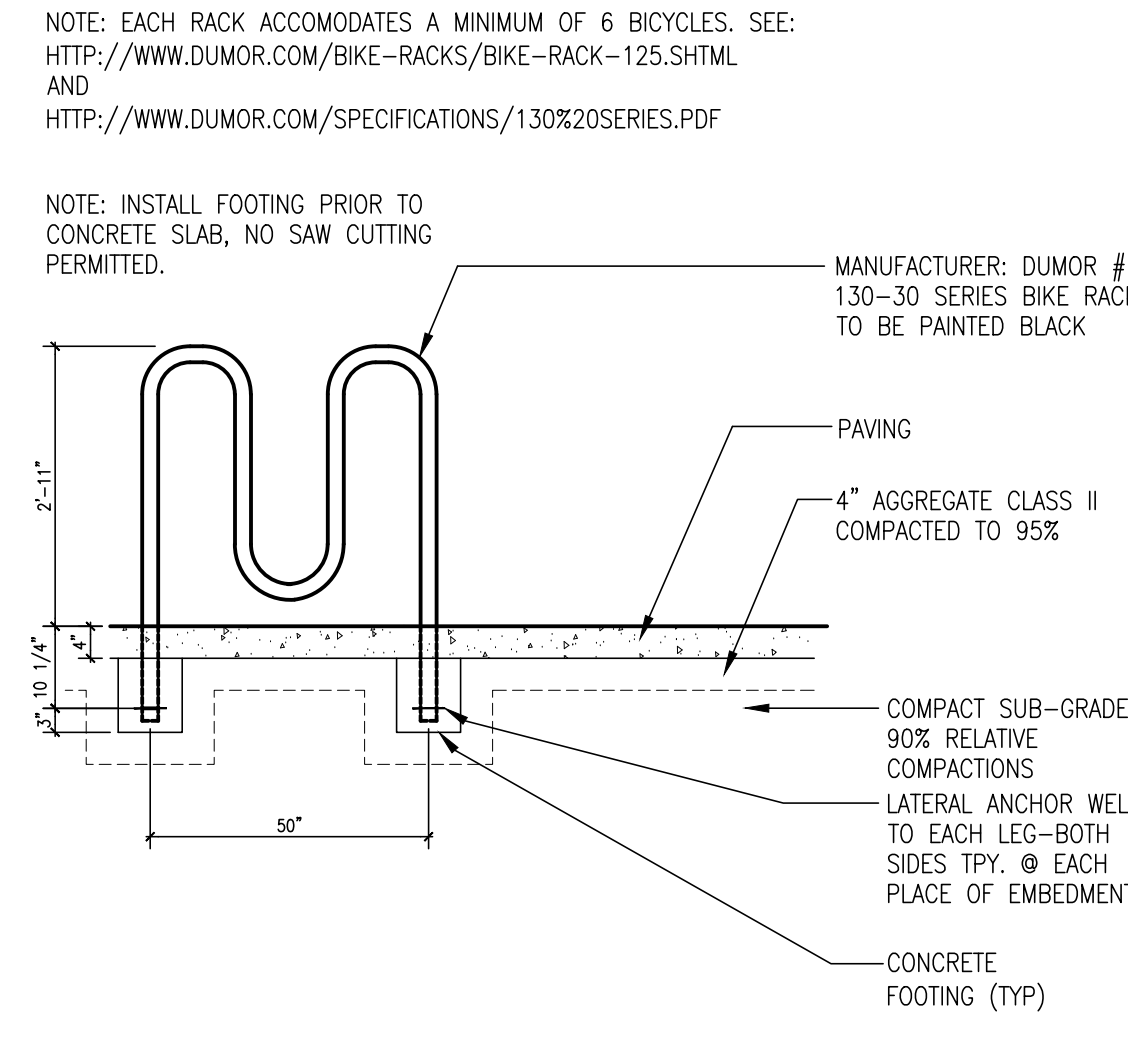
1



GUARDRAIL

SCALE: 1" = 1'-0"

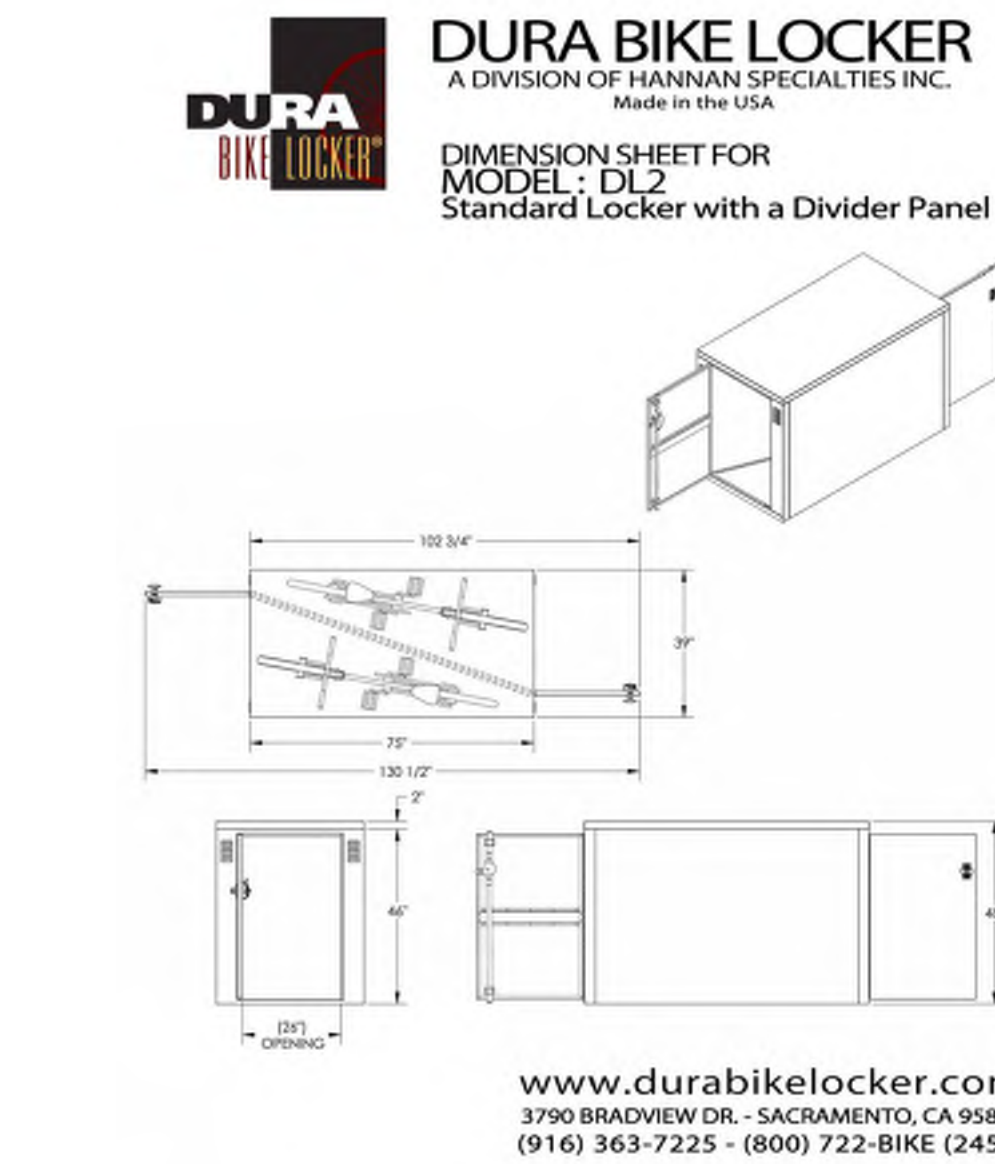
18



BIKE RACK

SCALE: 1/2" = 1'-0"

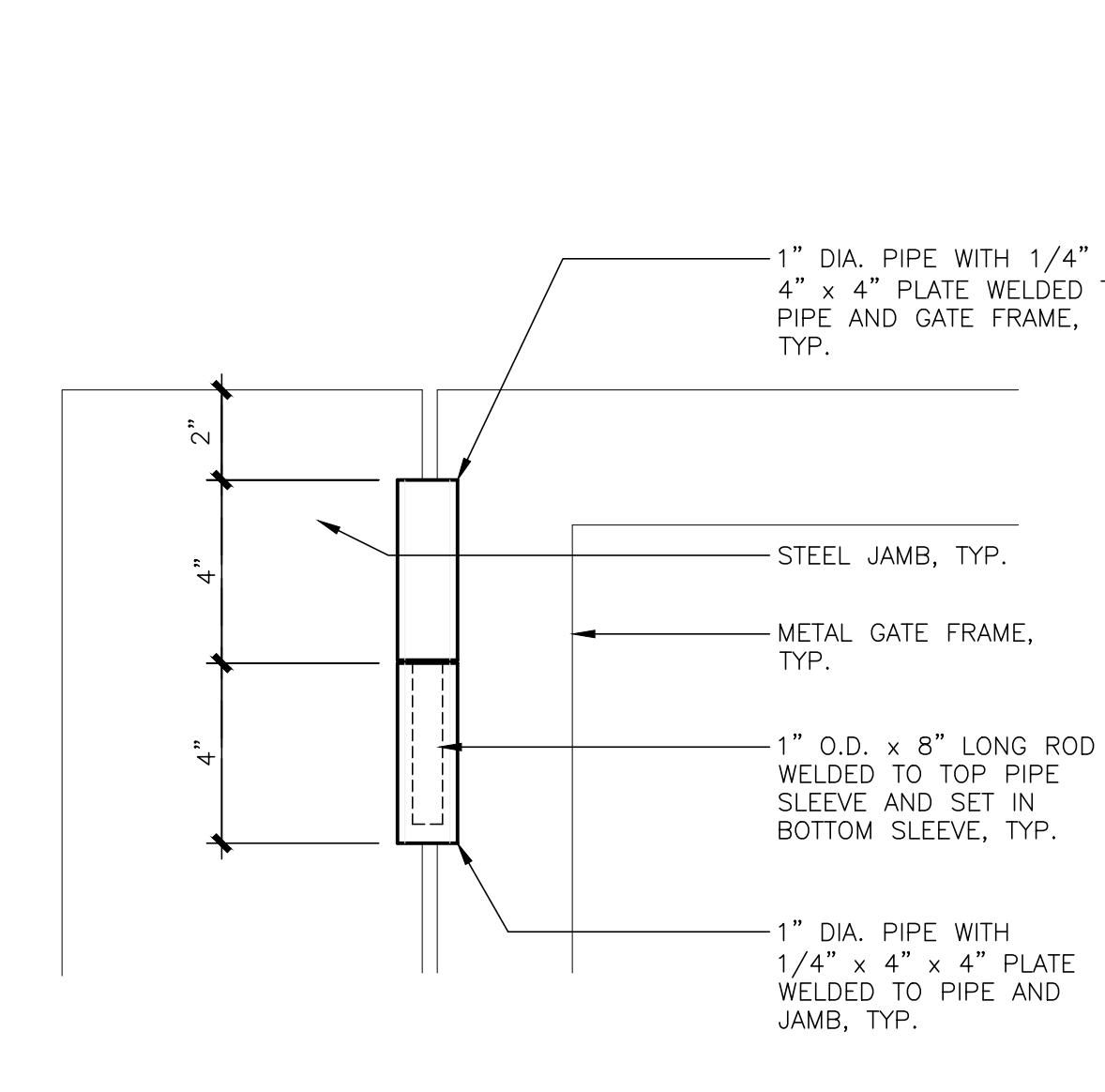
14



BIKE STORAGE

SCALE: N.T.S.

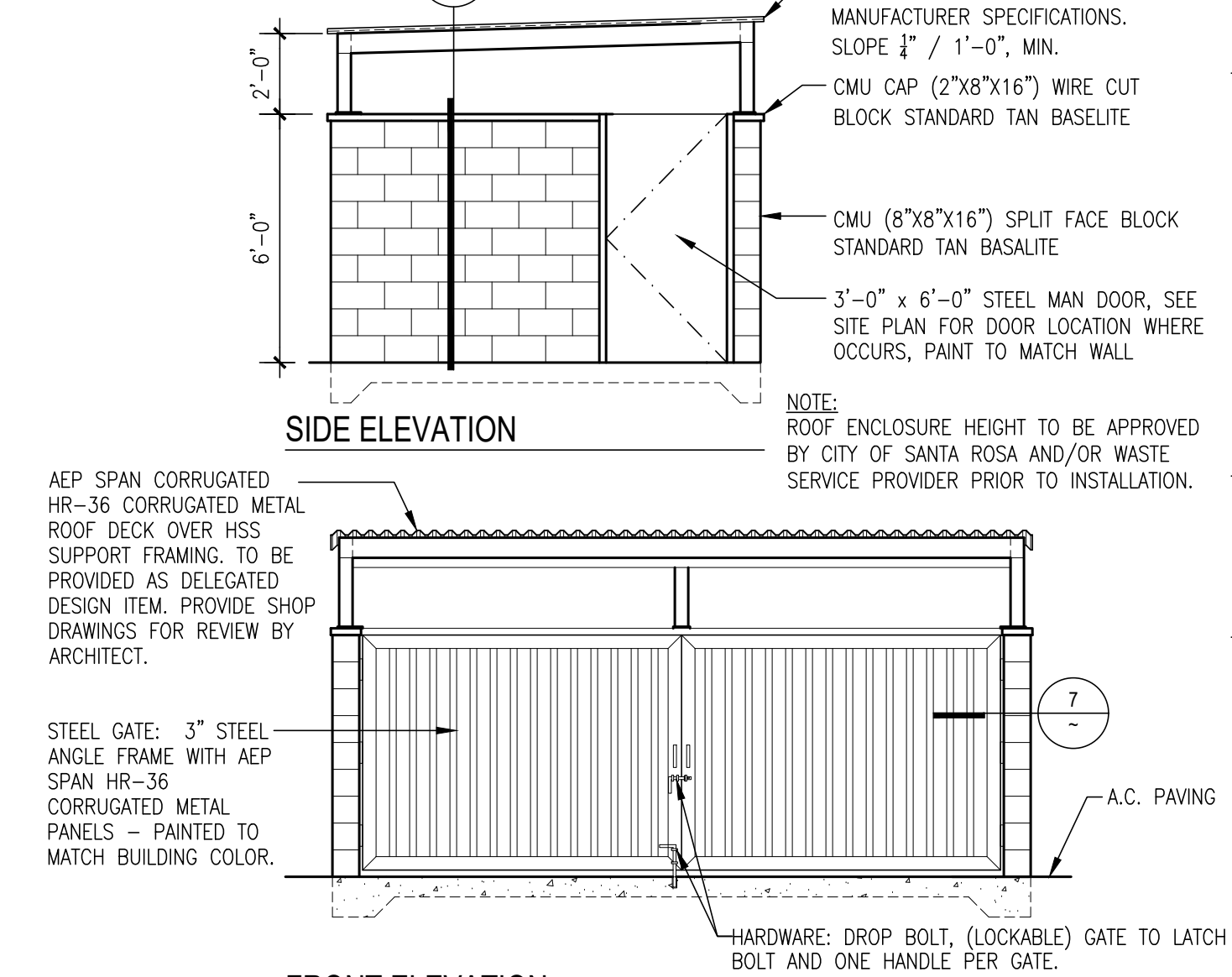
10



HINGE ELEVATION, TYP.

SCALE: 3/8" = 1'-0"

6

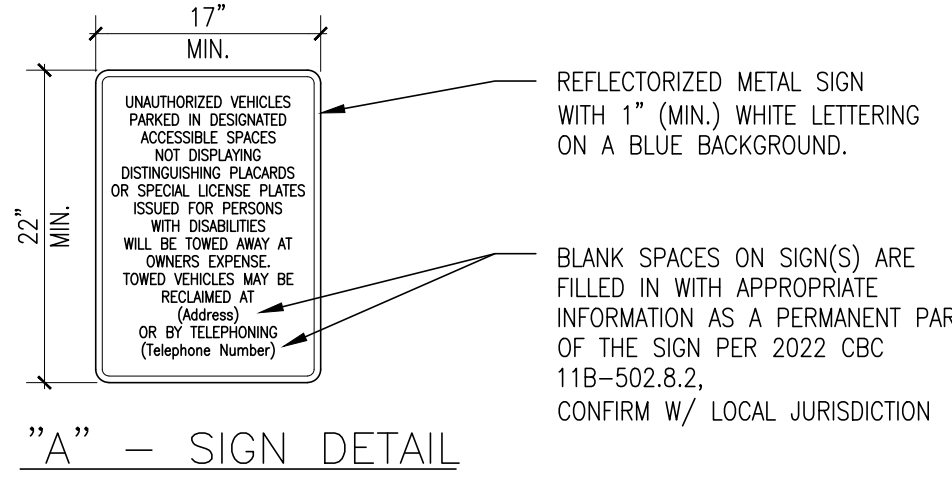


DUMPSTER ELEVATIONS

SCALE: 1/4" = 1'-0"

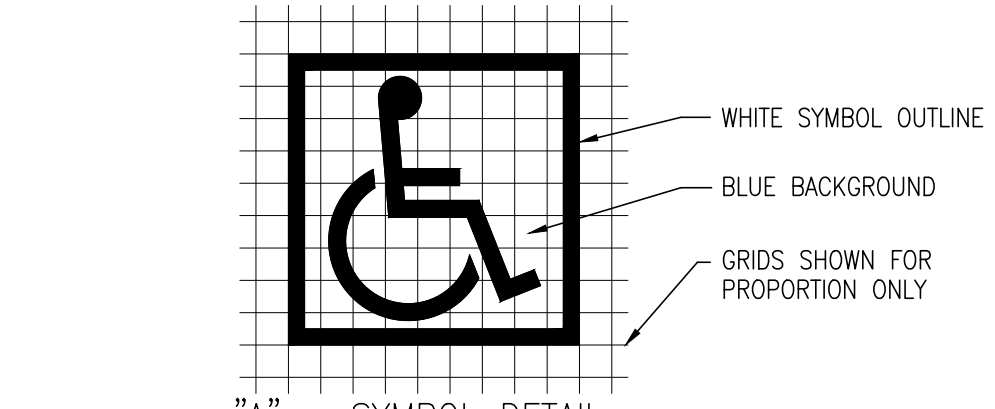
2

NOTE: UNAUTHORIZED VEHICLE PARKING SIGN SHALL BE PLACED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO AN OFF-STREET PARKING FACILITY OR VISIBLE FROM EACH PARKING SPACE, AS REQUIRED PER CBC 11B-502.8.



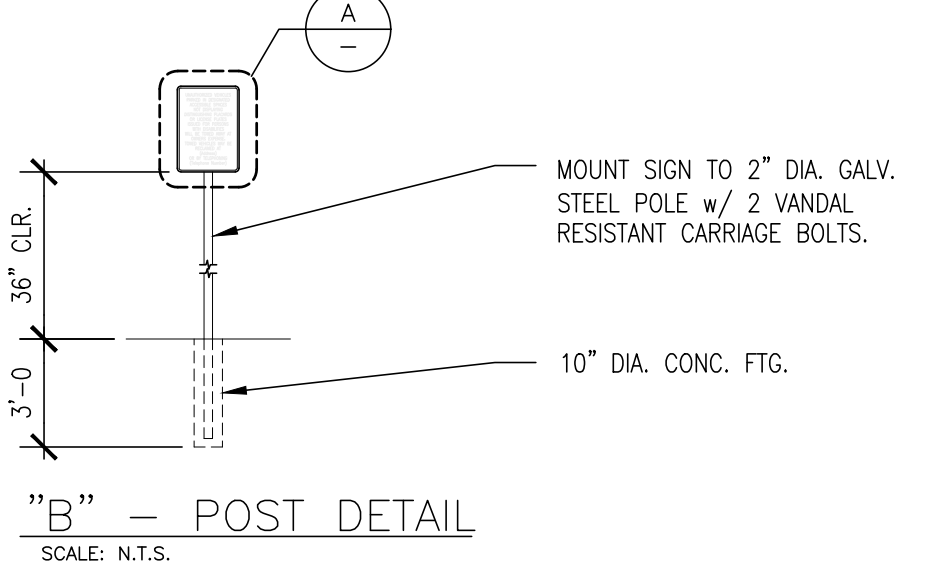
"A" - SIGN DETAIL

SCALE: N.T.S.



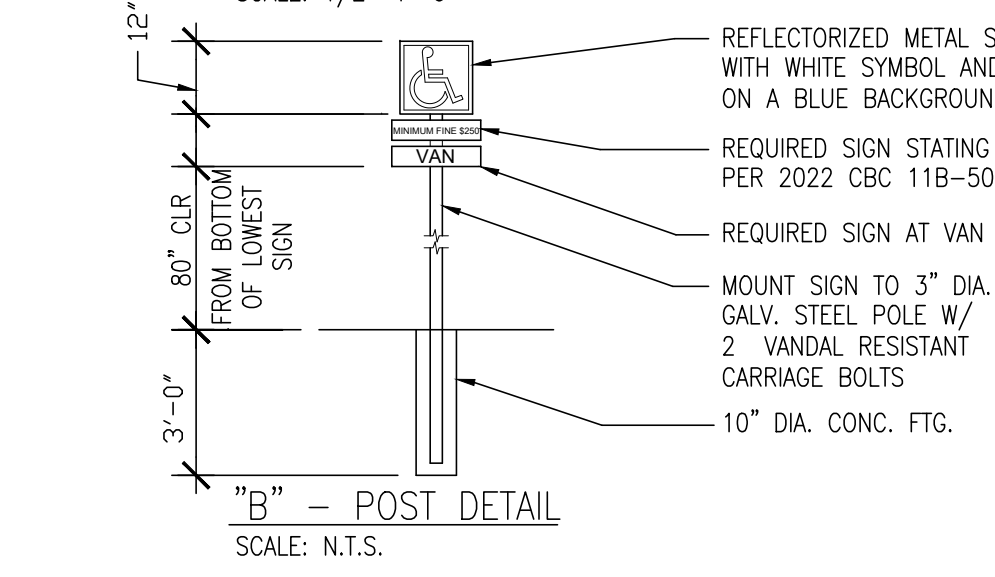
"A" - SYMBOL DETAIL

SCALE: 1/2" = 1'-0"



"B" - POST DETAIL

SCALE: N.T.S.



"B" - POST DETAIL

SCALE: N.T.S.

SITE ENTRY ACCESSIBLE SIGN

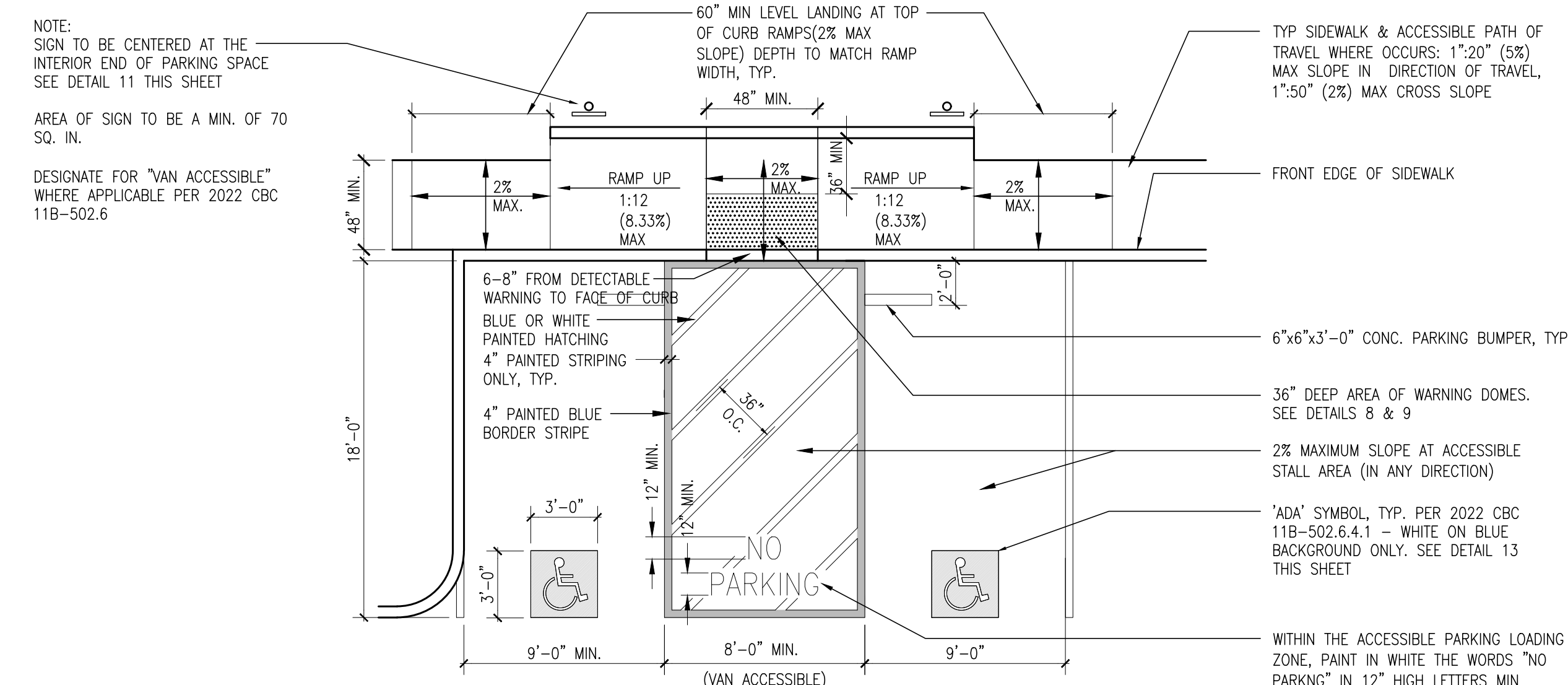
SCALE: 3/16" = 1'-0"

15

SIGN AT ACCESSIBLE PARKING STALLS

SCALE: NO SCALE

11



DOUBLE ACCESSIBLE STALLS

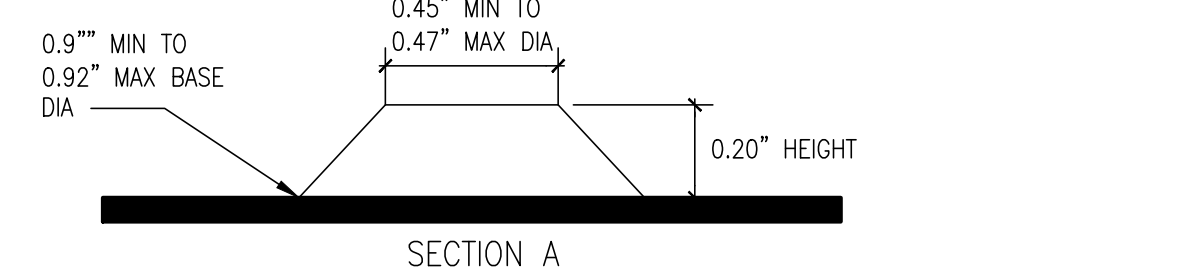
SCALE: 3/16" = 1' - 0"

12

GATE JAMB

SCALE: 3/8" = 1'-0"

7

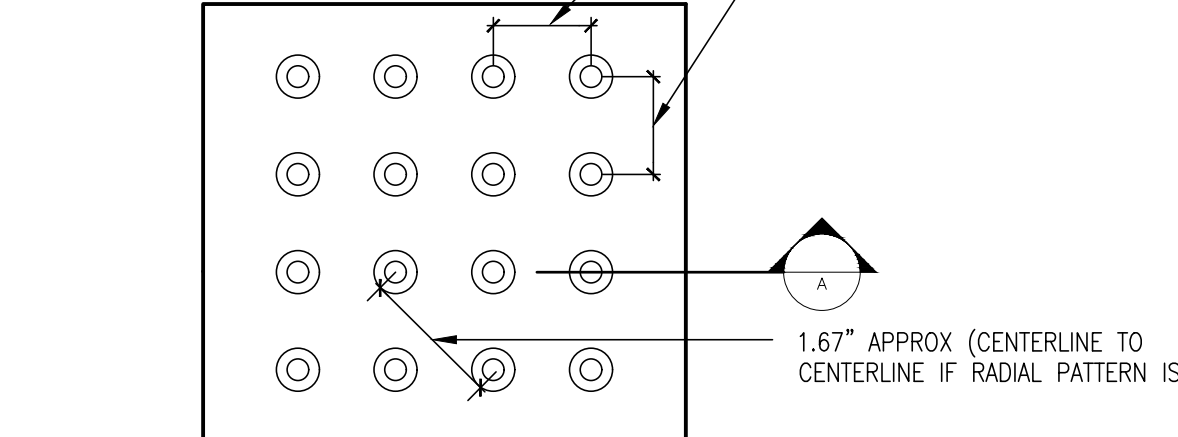


SECTION A

NOTE: COMPLY WITH 2022 CBC SECTION 11B-705.1.1. INSTALL TACTILE WARNING TILES IN AN AREA 36" LONG BY FULL WIDTH OF THE RAMP, STARTING MIN AT 6" MAX AT 8" FROM EDGE OF CURB. CONSTRUCT THE TRANSITION OF THE RAMP FLUSH WITH THE ADJACENT SURFACES (1/2" LIP IS NOT ALLOWED).

COLOR SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C PER 2022 CBC 11B-705.1.1.3.1

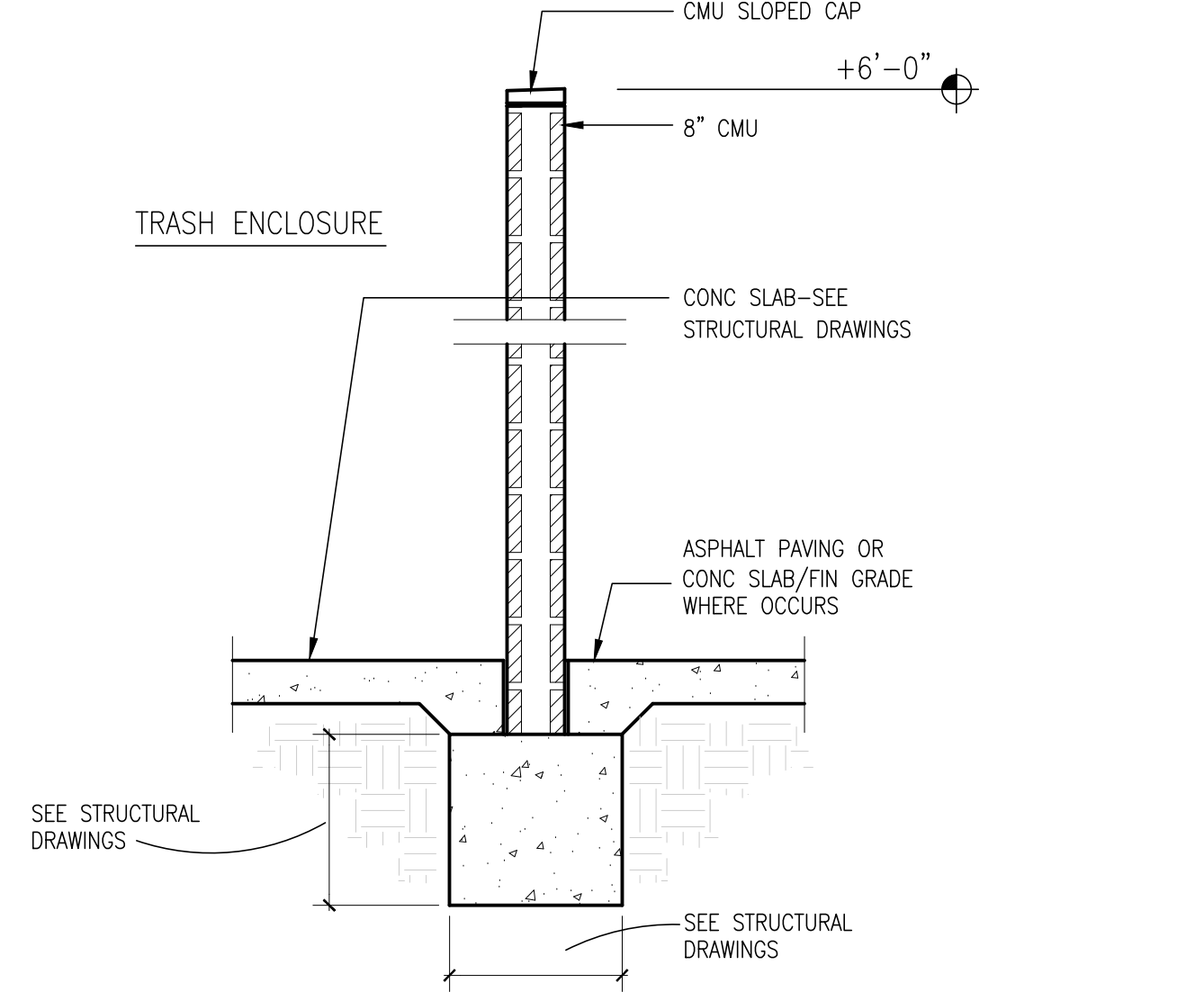
TRUNCATED DOMES ARE TO BE INSTALLED SO THEY ARE PERPENDICULAR AT A 90° ANGLE TO THE VEHICULAR PATH OF TRAVEL.



WARNING DOMES AT SITE RAMPS

SCALE: N.T.S.

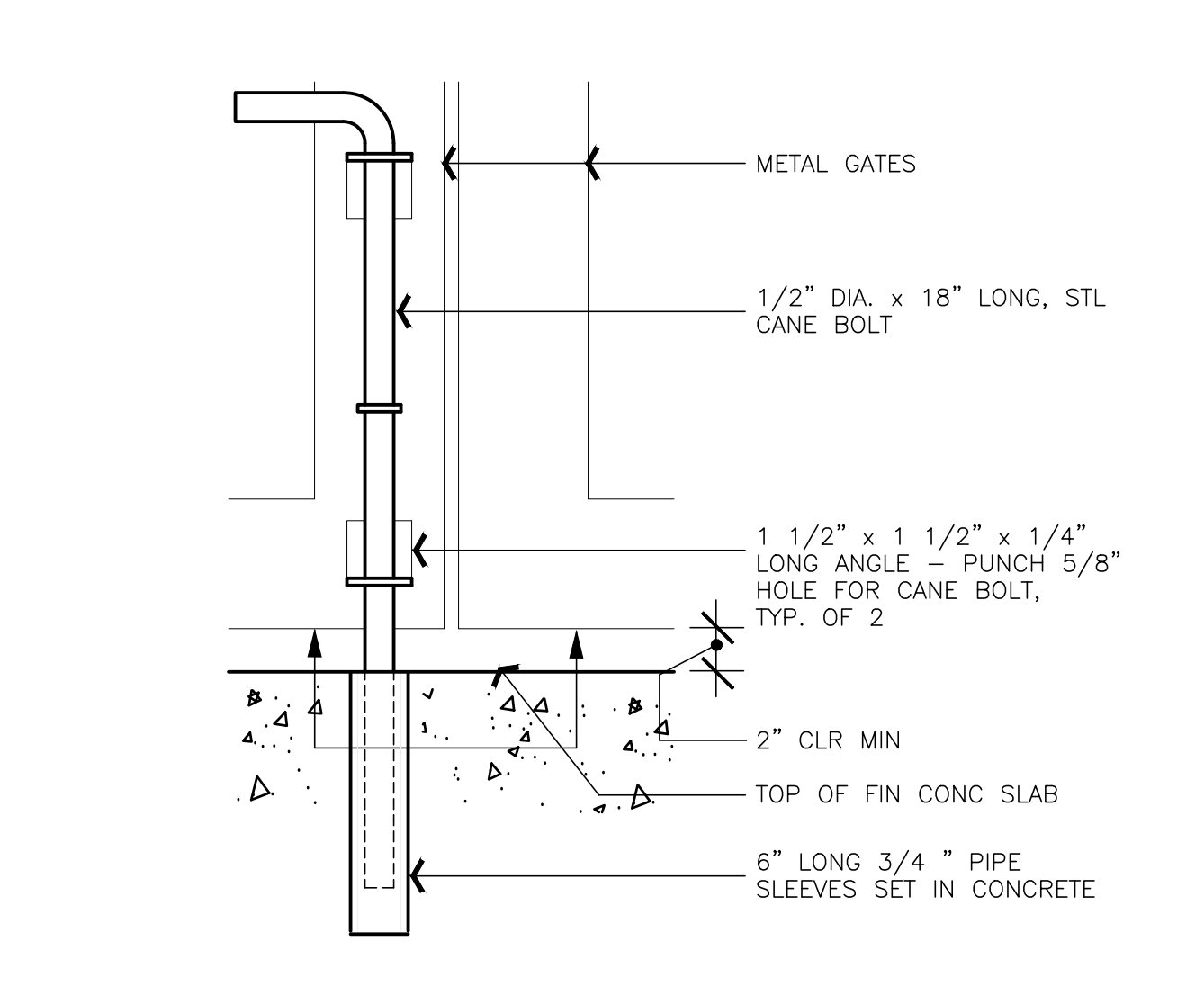
8



TRASH ENCLOSURE WALL SECTION

SCALE: 1/2" = 1'-0"

3



CANE BOLT SECTION

SCALE: 3/8" = 1'-0"

4



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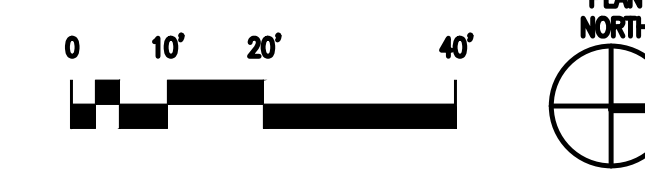
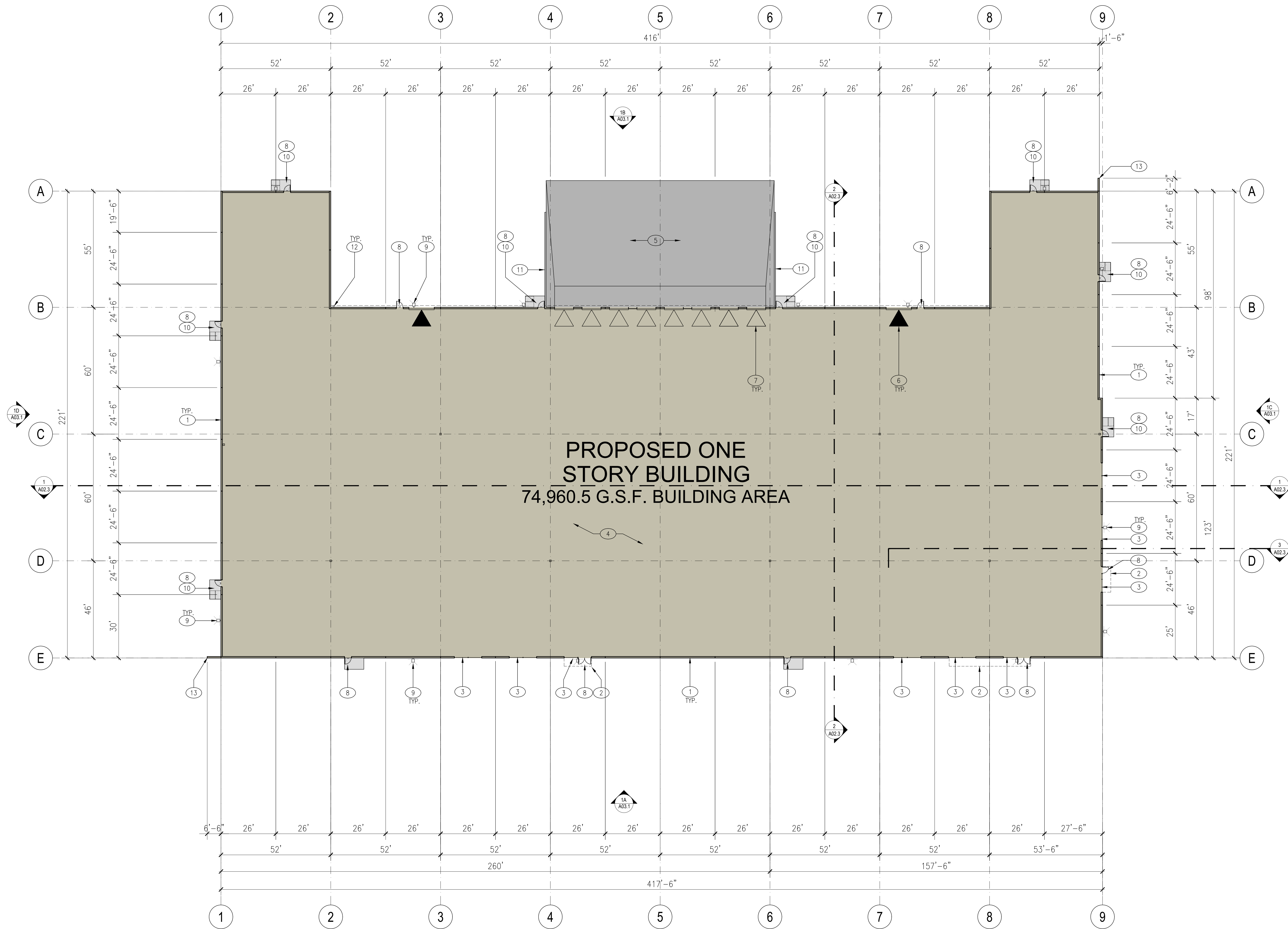
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approved for the owner by:

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FLOOR PLAN
SCALE: 1" = 20'-0"

1

KEYNOTES:

- ① TYPICAL EXTERIOR WALLS TO BE TILT-UP CONCRETE WITH REVEALS AND A MULTICOLORED TEXTURED ELASTOMERIC FINISH SYSTEM. SEE EXTERIOR ELEVATIONS, SHEETS A03.1
- ② LINE OF ENTRY CANOPY ABOVE, SEE EXTERIOR ELEVATIONS, SHEETS A03.1
- ③ TINTED GLAZING IN ALUMINUM FRAMES
- ④ CONCRETE FLOOR SLAB
- ⑤ DEPRESSED CONCRETE TRUCK DOCK
- ⑥ 12" X 14" GRADE LEVEL ROLL UP DOOR
- ⑦ 9' X 10' DOCK LEVEL ROLL UP DOOR
- ⑧ 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS
- ⑨ BUILDING WALL LIGHTS ABOVE, TYP. SEE PHOTOMETRIC DRAWINGS
- ⑩ DASH-DOT OUTLINE INDICATED AREA OF ASSISTED RESCUE
- ⑪ 6" TALL X 8" WIDE CONCRETE CURB AT EACH SIDE OF TRUCK DOCK, PAINT GUARDRAIL "SAFETY YELLOW". SEE DETAIL 1B, SHEET A01.1.
- ⑫ CONTINUOUS GUTTERS AND DOWNSPOUTS, SEE EXTERIOR ELEVATIONS, SHEET A03.1
- ⑬ TILT-UP CONCRETE WING WALL. SEE EXTERIOR ELEVATIONS A03.1 FOR FINISH AND COLOR

drawn by : TG plot date : 09-15-2023

checked by : AGUJDL



scale : AS NOTED
project number : 2204025.00

FLOOR PLAN

sheet no. : **A02.1**

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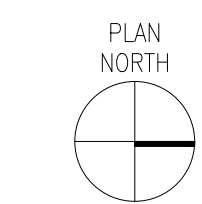
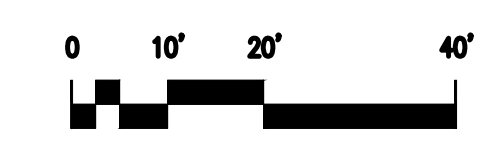
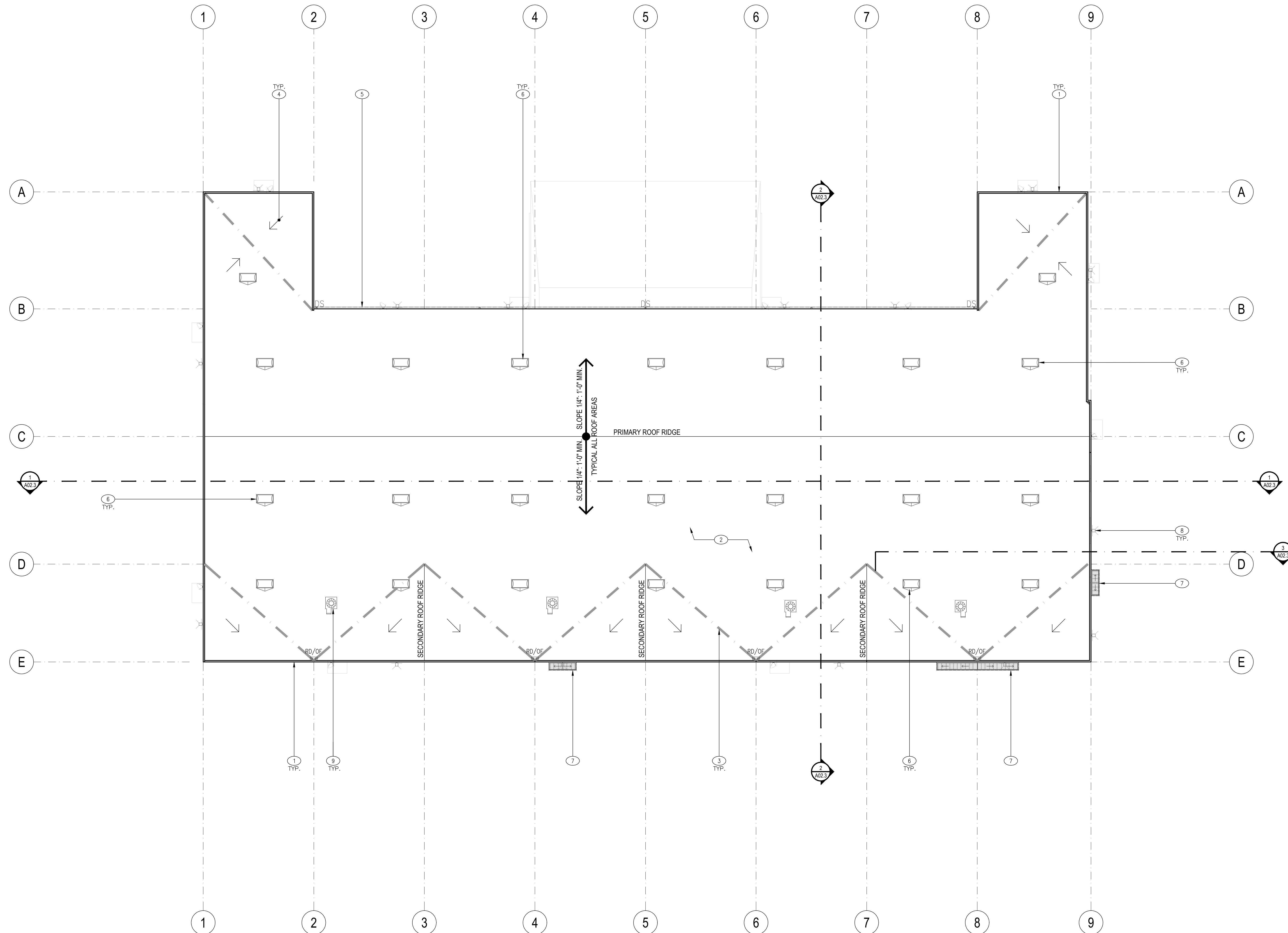
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ROOF PLAN
SCALE: 1" = 20'-0"

1

KEYNOTES:

- 1 LINE OF TYPICAL PARAPET WALL.
- 2 TYPICAL LOW SLOPE ROOF 1/4" PER 12" MIN. SLOPE. ROOF ASSEMBLY CONSISTS OF A TPO SINGLE PLY SYSTEM OVER 1/2" STRUCTURAL SHEATHING OVER SLOPED STRUCTURAL FRAMING.
- 3 THICK DASHED GRAY LINE INDICATES WARPED ROOF AREA
- 4 INDICATES DIRECTION OF ROOF SLOPE
- 5 CONTINUOUS METAL GUTTER AND DOWNSPOUTS. PAINT TO MATCH ADJACENT BUILDING. SEE EXTERIOR ELEVATIONS FOR FINISH COLOR
- 6 INDICATES LOCATION OF 4' X 8' SELF-DURRING DUAL DOME SKYLIGHT. PROVIDE SHAPED FOAM CRICKET AT HIGH SIDE(S) OF SKYLIGHT CURB TO PROVIDE SLOPE FOR DRAINAGE
- 7 STEEL CANOPY BELOW, PAINT AS SPECIFIED. SEE EXTERIOR ELEVATIONS, SHEET A03.1 FOR FINISHES.
- 8 LED WALL LIGHTS, SEE SHEET A03.1
- 9 POTENTIAL LOCATION OF FUTURE ROOF MOUNTED HVAC EQUIPMENT. ALL ROOF MOUNTED EQUIPMENT SHALL BE DETERMINED AT TIME OF TENANT IMPROVEMENTS AND SHALL BE SCREENED FROM VIEW BY NATURE OF ITS PLACEMENT OR BY A FUTURE MECHANICAL SCREEN.

drawn by : TG plot date : 09-15-2023

checked by : AG/JDL

stamp



scale : AS NOTED

project number : 2204025.00

ROOF PLAN

sheet no. :

A02.2

CLIENT:

McNeill Real Estate Services, Inc.
 Jose McNeill
 5254 Tapestry Ct. - Fairfield, CA 94534
 (916) 718-5659
 Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

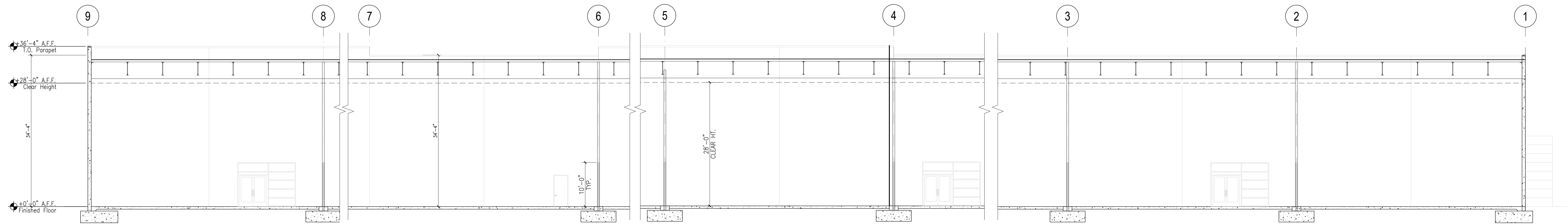
HERITAGE COMMERCE CENTER

NORTHPOINT PARKWAY AT MARINER WAY
 SANTA ROSA, CALIFORNIA

approved for the owner by:

approved for the architect by:

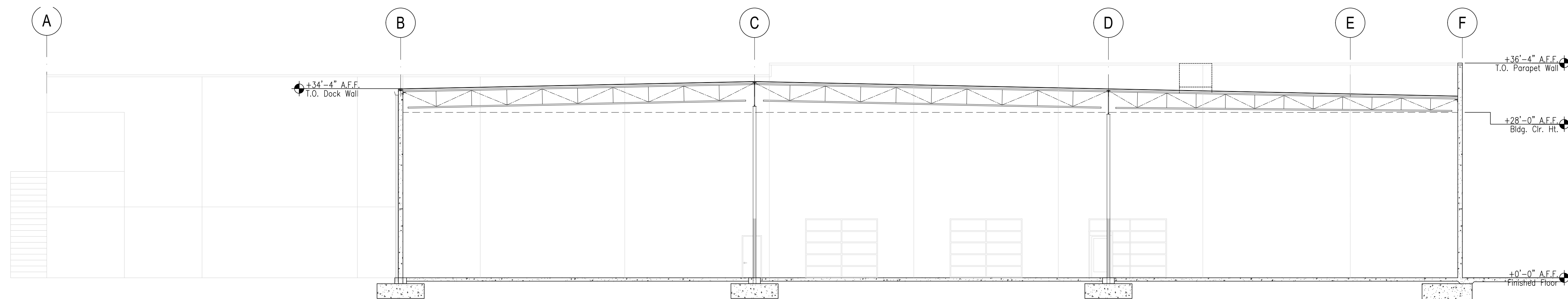
issue :	description :	date :
A	ISSUED FOR REVIEW	09-15-2023



PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

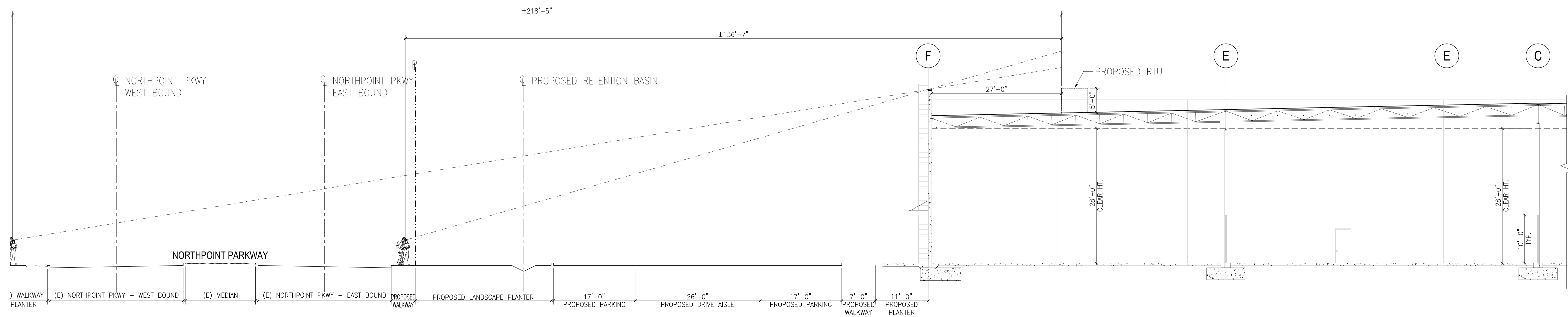
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PRELIMINARY BUILDING SECTION

SCALE: 1" = 10'-0"

2



LINE OF SIGHT SECTION @ NORTHPOINT PARKWAY

SCALE: 1" = 10'-0"

3

drawn by : TG plot date : 09-15-2023

checked by : AGUJDL

stamp

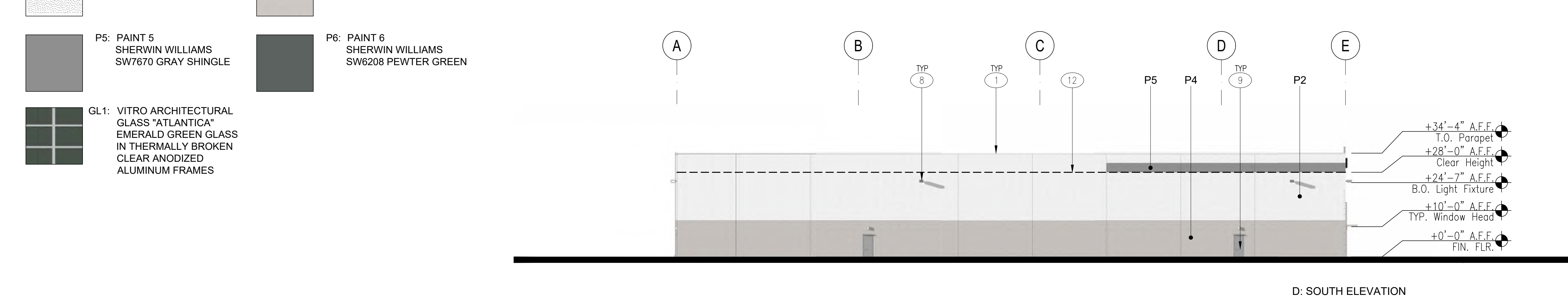
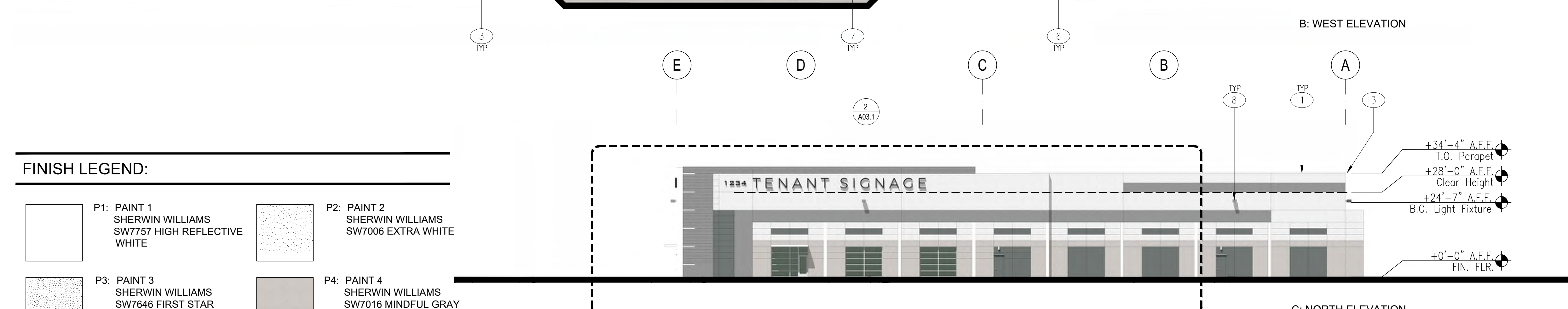
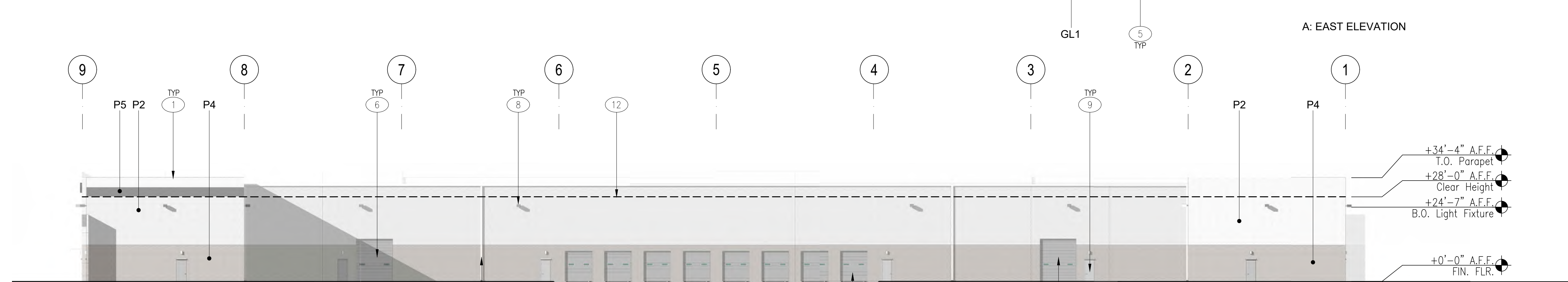
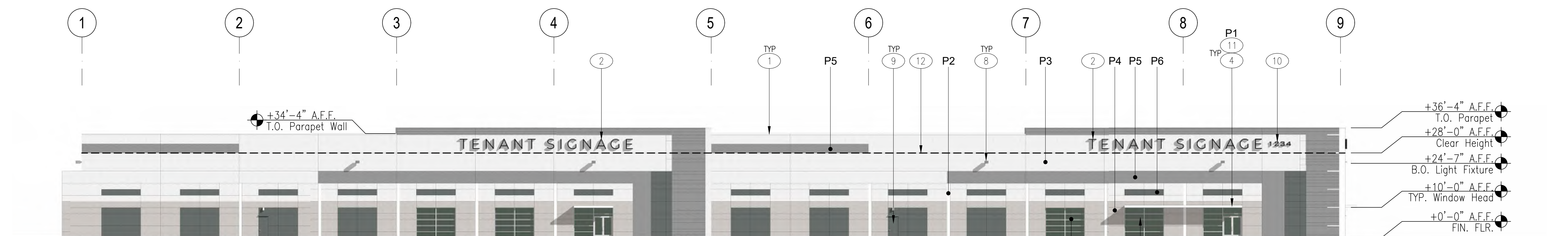


scale : AS NOTED

project number : 2204025.00

LINE OF SIGHT SECTION

sheet no. :

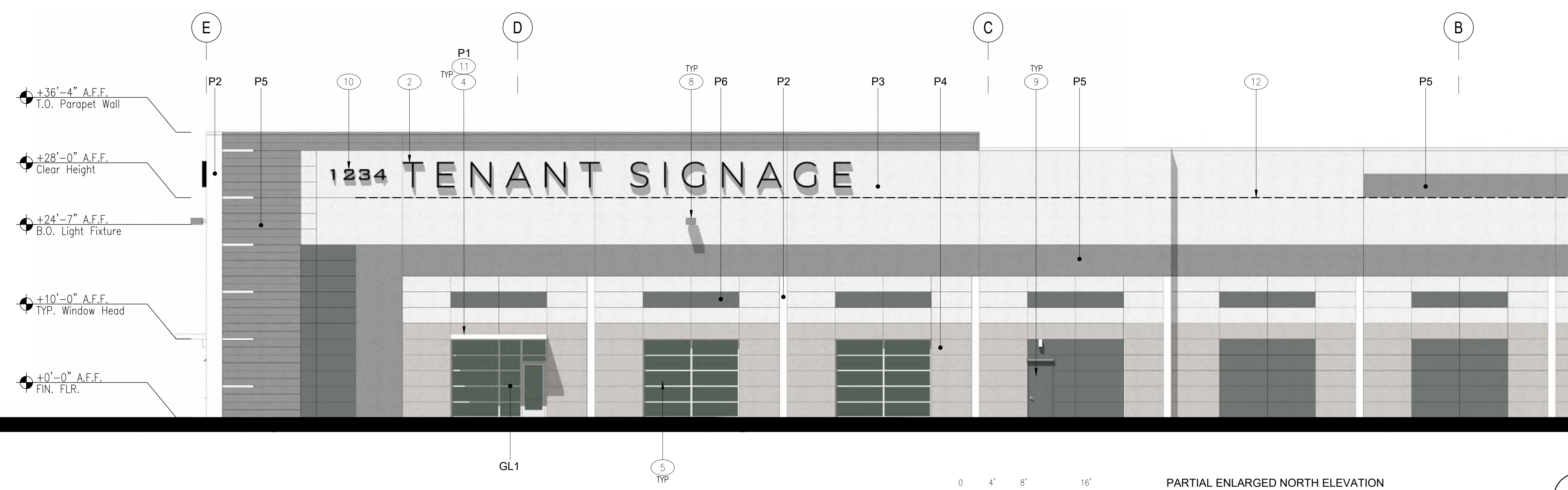


EXTERIOR ELEVATIONS
 SCALE: 1" = 20'-0"

- KEYNOTES:**
- TYPICAL SITE CAST, CONCRETE TILT-UP PANELS WITH 3/4" REVEALS AND A MULTI COLOR TEXTURED COATING SYSTEM.
 - TENANT SIGNAGE UNDER SEPARATE PERMIT.
 - CONTINUOUS GUTTER AND SURFACE MOUNTED DOWNSPOUTS.
 - 12" THICK x 3"-11" DEEP PAINTED STEEL CHANNEL CANOPIES, 3 TOTAL. PAINT AS SPECIFIED. TYPICAL AT MAIN ENTRANCE STOREFRONT OPENINGS.
 - TYPICAL WINDOW SYSTEM: DUAL PANE GLAZING IN 2" x 4" (NOMINAL) THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. OUTER GLAZING PANE TO BE TINTED WITH LOW-E COATING ON INTERIOR SURFACE. INNER PANE CLEAR FLOAT. STOREFRONT DOORS WHERE SHOWN. 4 STOREFRONT LOCATIONS TOTAL.
 - 12' X 14' GRADE LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
 - 9' X 10' DOCK LEVEL ROLL UP DOOR, PAINT TO MATCH ADJACENT COLOR.
 - EXTERIOR WALL PACK LIGHTING. SEE PHOTOMETRIC DRAWINGS.
 - 3' X 7' STEEL MAN DOOR WITH EMERGENCY LIGHT FIXTURE CENTERED OVER DOOR. SEE PHOTOMETRIC PLAN FOR FIXTURE TYPE. PAINT DOOR TO MATCH ADJACENT WALL COLOR.
 - ADDRESS SIGNAGE UNDER SEPARATE PERMIT AND SHALL MEET BUILDING, FIRE AND SHERIFF DEPT REQUIREMENTS.
 - CANOPY LIGHTING, SEE PHOTOMETRIC DRAWINGS.
 - DASHED LINE INDICATES INTERNAL CLEAR HEIGHT. SEE ELEVATIONS FOR HEIGHT.

FINISH LEGEND:

	P1: PAINT 1 SHERWIN WILLIAMS SW7757 HIGH REFLECTIVE WHITE		P2: PAINT 2 SHERWIN WILLIAMS SW7006 EXTRA WHITE
	P3: PAINT 3 SHERWIN WILLIAMS SW7646 FIRST STAR		P4: PAINT 4 SHERWIN WILLIAMS SW7016 MINDFUL GRAY
	P5: PAINT 5 SHERWIN WILLIAMS SW7670 GRAY SHINGLE		P6: PAINT 6 SHERWIN WILLIAMS SW6208 PEWTER GREEN
	GL1: VITRO ARCHITECTURAL GLASS "ATLANTICA" EMERALD GREEN GLASS IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAMES		



PARTIAL ENLARGED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



PROJECT INFORMATION

PROJECT ADDRESS: WEST MARINER WAY
SANTA ROSA, CA 95407

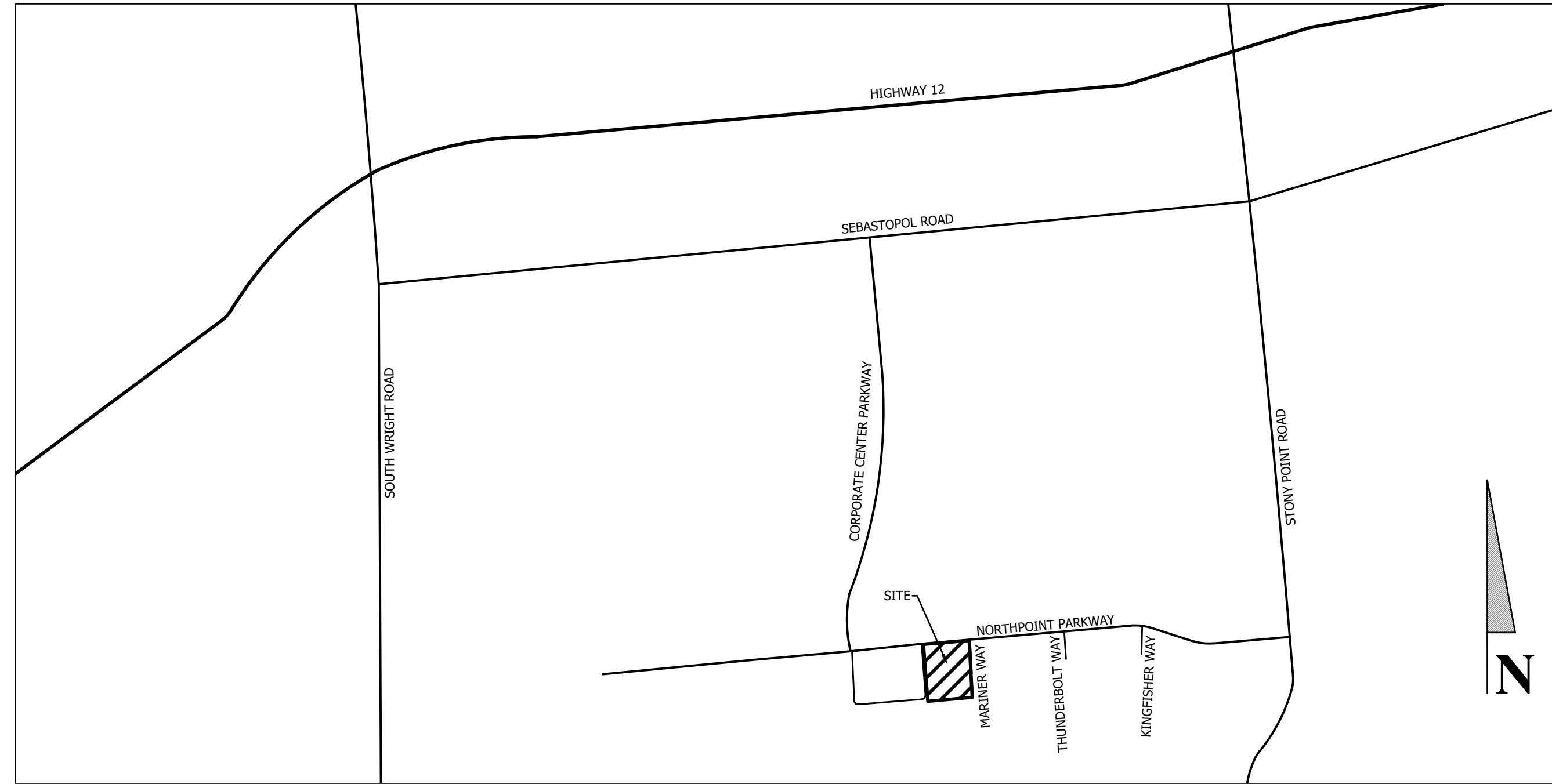
OWNER/DEVELOPER: MCNEILL REAL ESTATE SERVICES, INC.
C/O: JOSE MCNEILL
5254 TAPESTRY COURT,
FAIRFIELD, CA 94534
(916) 718-5659

CIVIL ENGINEER: THOMAS J. BILLETTER, P.E.
BC ENGINEERING GROUP, INC.
418 B STREET, THIRD FLOOR
SANTA ROSA, CA 95401
(707) 542-4321

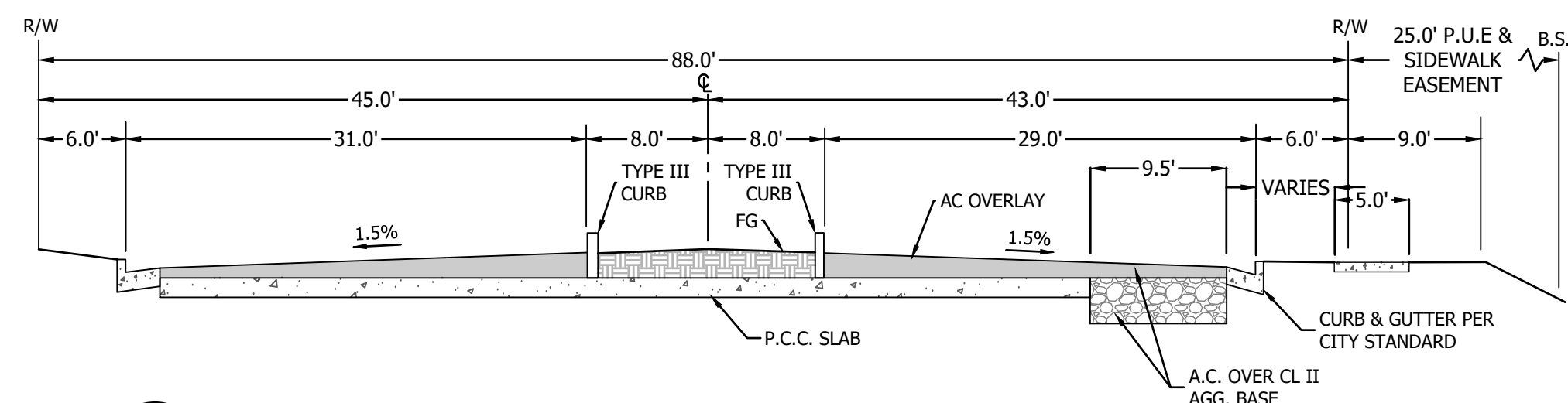
SURVEYOR: CINQUINI & PASSARINO, INC
1360 NORTH DUTTON AVE #150
SANTA ROSA, CA 95401
(707) 542-6268

AREA: 4.17 ACRES

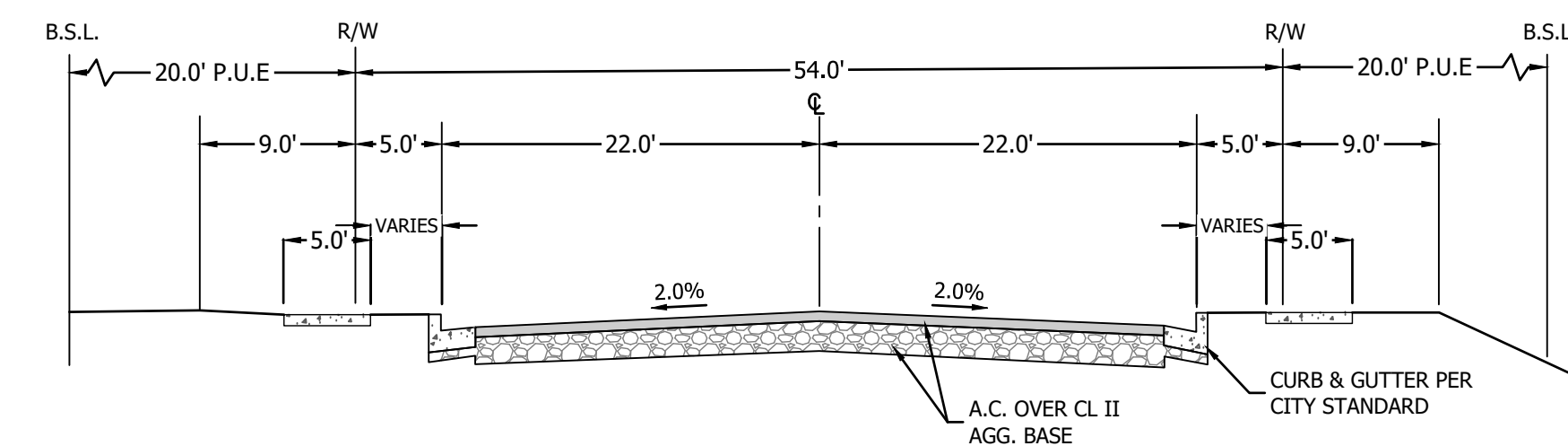
**DESIGN REVIEW DRAWINGS FOR
HERITAGE COMMERCE CENTER**
C/O JOSE MCNEILL - (916) 718-5659
WEST MARINER WAY, SANTA ROSA, CA 95407
APN: 035-530-016, -055



VICINITY MAP
NTS



NORTHPOINT PARKWAY TYPICAL SECTION
NO SCALE



MARINER PLACE TYPICAL SECTION
NO SCALE

ABBREVIATIONS

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GSL	GARAGE SETBACK LINE
APN	ASSESSOR'S PARCEL NUMBER	GR	GRATE ELEVATION
BC	BEGIN HORIZONTAL CURVE	HP	HIGH POINT
BSL	BUILDING SETBACK LINE	INV	INVERT
BW	BOTTOM OF WALL AT GRADE	IG	INVERT GRADE
BLDG	FINISH GRADE BUILDING	LF	LINEAR FEET
BT	BEGINNING OF TANGENT	MAX	MAXIMUM
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	ME	MATCH EXISTING
BVCS	BEGINNING OF VERTICAL CURVE STATION	MIN	MINIMUM
CL	CENTERLINE	NTS	NOT TO SCALE
CL	CLASS	PC	POINT OF CURVE
CPP	CORRUGATED PLASTIC PIPE	PCC	POINT OF COMPOUND CURVE
CONC	CONCRETE	PL	PROPERTY LINE
CY	CUBIC YARD	PRC	POINT OF REVERSE CURVE
DI	DROP INLET	PT	POINT OF TANGENT
DIA	DIAMETER	PUE	PUBLIC UTILITY EASEMENT
DL	DAYLIGHT	PVI	POINT OF VERTICAL INTERSECTION
EC	END HORIZONTAL CURVE	RC	RELATIVE COMPACTION
EG	EXISTING GROUND	R/W	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	S	SLOPE
ET	END OF TANGENT	SAD	SEE ARCHITECTURAL DRAWINGS
EVCE	END OF VERTICAL CURVE ELEVATION	SC	SPRAL CURVE
EVCS	END OF VERTICAL CURVE STATION	SD	STORM DRAIN PIPE
EX	EXISTING	SG	SUBGRADE
FF	FINISHED FLOOR	SWE	SIDEWALK EASEMENT
FG	FINISHED GRADE	STA	STATION
FL	FLOW LINE	TW	TOP OF WALL
FS	FINISH SURFACE	TYP	TYPICAL
FSS	FIRE SAFETY STANDARDS	VC	VERTICAL CURVE

LEGEND

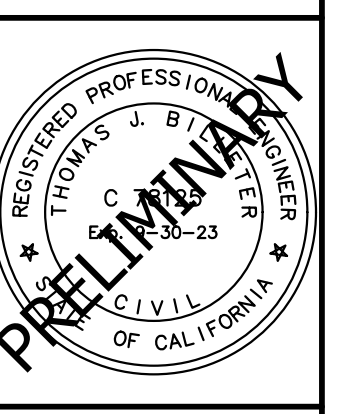
EXISTING	PROPOSED	DEFINITION
---	---	PROPERTY LINE
---	---	ROAD CENTERLINE
—E—	—E—	ELECTRICAL (UNDERGROUND)
—DHW—	—DHW—	ELECTRICAL (OVERHEAD WIRE)
—GAS—	—GAS—	GAS LINE
⊙	⊙	GATE VALVE
⊙	⊙	HYDRANT
—	—	PIPE CAP
SS	SS	SANITARY SEWER PIPE
—	—	STORM WATER DRAIN PIPE
☆	☆	STREET LIGHT
—W—	—W—	WATER LINE
—	—	DRAINAGE SWALE FLOW LINE
—	—	EDGE OF PAVEMENT
X	○	FENCE
→	→	FLOWLINE DIRECTION ARROW
---	---	GRADE BREAK
	X	TREE TO BE REMOVED
[Pattern]	[Pattern]	CONCRETE
	[Pattern]	ROCK DISSIPATER/RIP RAP
	[Pattern]	BIORETENTION AREA

S:\Clients\1978-20\Charlie Traboulsi - Mariner Way (Heritage Commerce Center), Santa Rosa, CA\CAD\Civil Engineering\Design Review\1978-20 Project Info.dwg
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REV.	DESCRIPTION	DATE

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
www.bceengineeringgroup.com
Phone: 707-542-4321
SANTA ROSA OFFICE:
418 B Street, Third Floor, Santa Rosa CA 95401
UKIAH OFFICE:
603 S. State Street, Ukiah CA 95482

DESIGN REVIEW
PROJECT INFO
HERITAGE COMMERCE CENTER
WEST MARINER WAY
SANTA ROSA, CA 95407



Date: 09/07/2023
Job: 1978-20
Drawn: MD/TSL
Scale: AS SHOWN
APN: 035-530-016, -055
Permit #:

Sheet: **C1.0**
1 of 3

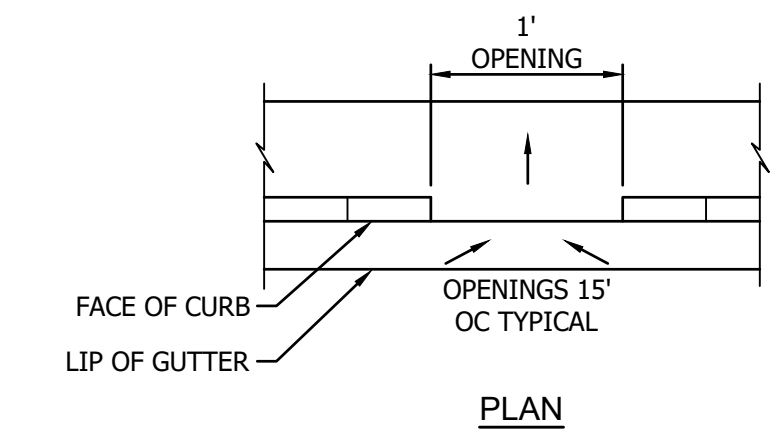
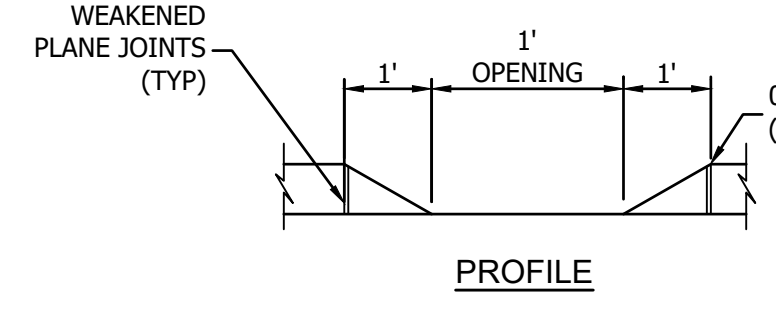
NOT FOR CONSTRUCTION

- KEYNOTES:**
- BIORETENTION AREA, SEE DETAIL THIS SHEET
 - PROPOSED 6" (ASSUMED) SEWER SERVICE TO TIE INTO EXISTING LATERAL STUB
 - PROPOSED MULTISERVICE MANIFOLD WITH ASSUMED 6" DOUBLE DETECTOR CHECK, ASSUMED 2" DOMESTIC METER, ASSUMED 2" IRRIGATION METER, AND BACKFLOW PREVENTION DEVICES.
 - TRASH ENCLOSURE
 - 20' SWE AND PUE
 - 25' BSL
 - PROPOSED DRIVEWAY PER CITY OF SANTA ROSA STANDARD 250A
 - PROPOSED (4) 3" SIDEWALK DRAINS

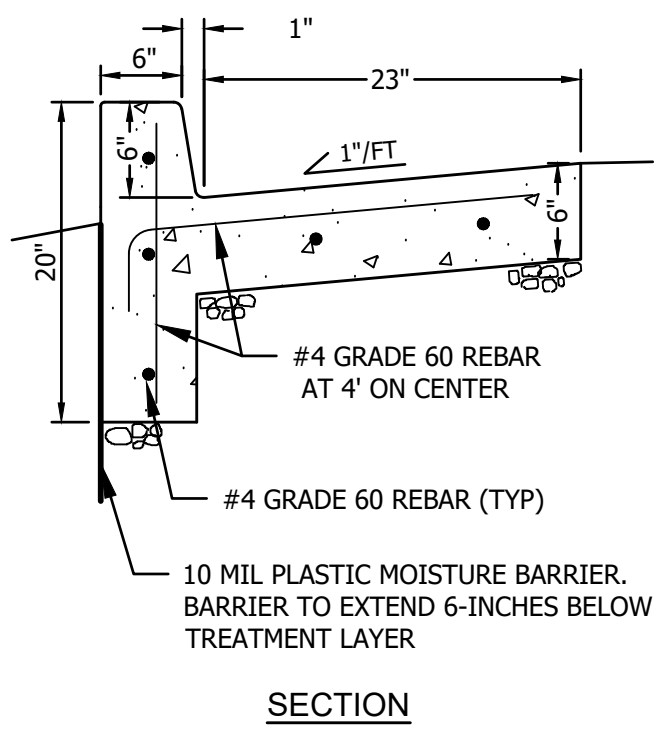
AREA SUMMARY

DMA	TRIB AREA (SF)	BMP AREA (SF)	DEPTH (FT)
1	36,920	2,070	3
2	50,250	3,000	2
3	24,350	2,070	2.5
4	69,920	4,510	1
5	367	66	1
6	233	41	1
7	235	42	1
8	5422	900	1
9	1819	300	1

RUNOFF CURVE NUMBER FOR ALL TRIBUTARY AREAS IS 98.
 PRE-DEVELOPMENT IMPERVIOUS SURFACE: 69,447 SQ. FT.
 POST-DEVELOPMENT IMPERVIOUS SURFACE: 189,516 SQ. FT.

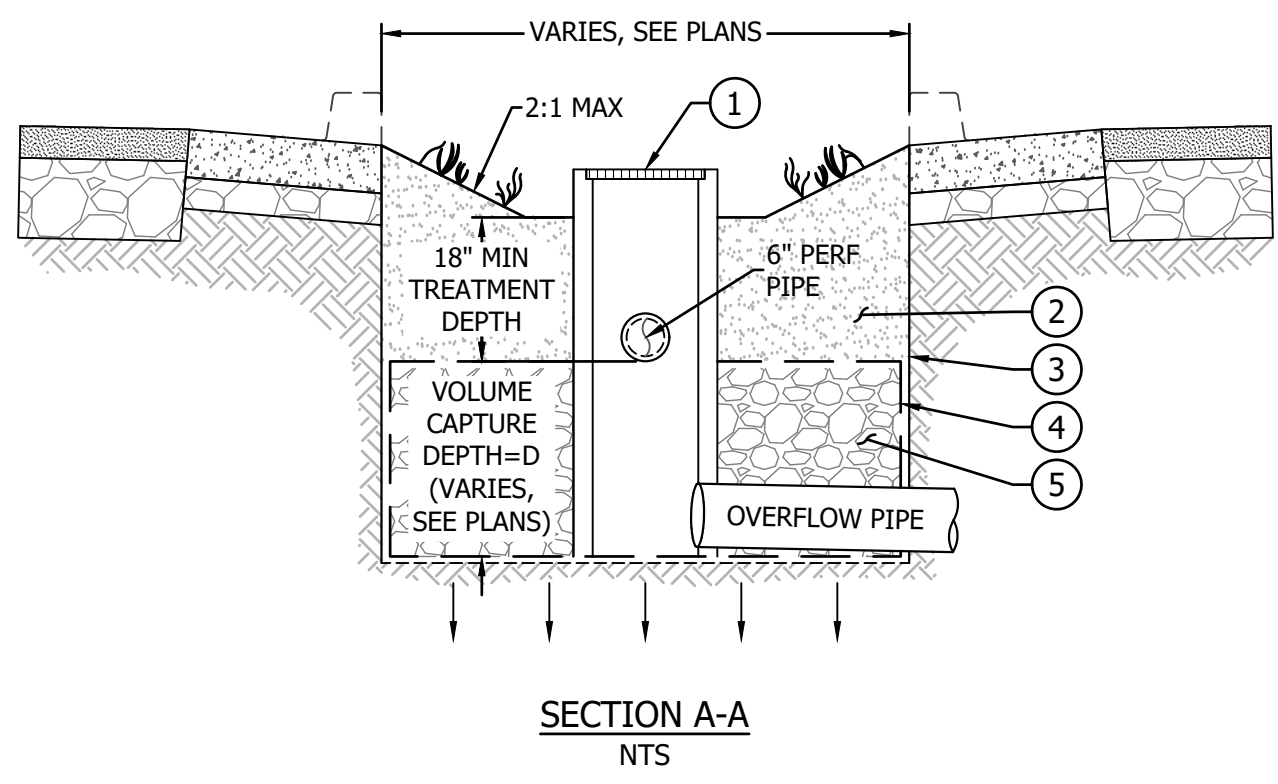


- NOTES:**
- USE 1/2" EXPANSION JOINTS AT EACH END OF CURB RETURNS AND AT 60' OC MAX.
 - USE 1/2" x 12" LONG, SMOOTH CAPPED DOWELS AT EACH EXPANSION JOINT AND AT END OF POURS.
 - CLASS A CONCRETE.

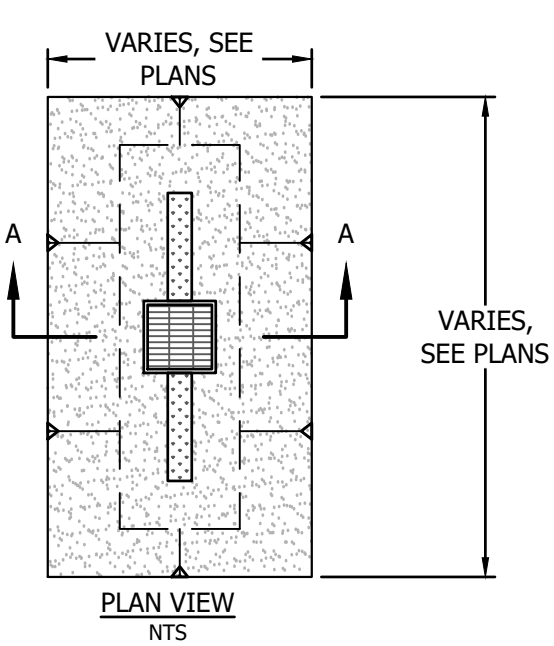


CO CURB OPENINGS AT BIO-RETENTION AREAS DETAIL

NO SCALE



SECTION A-A
NTS



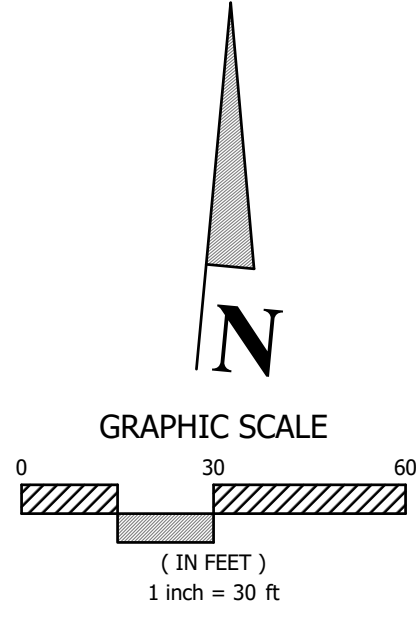
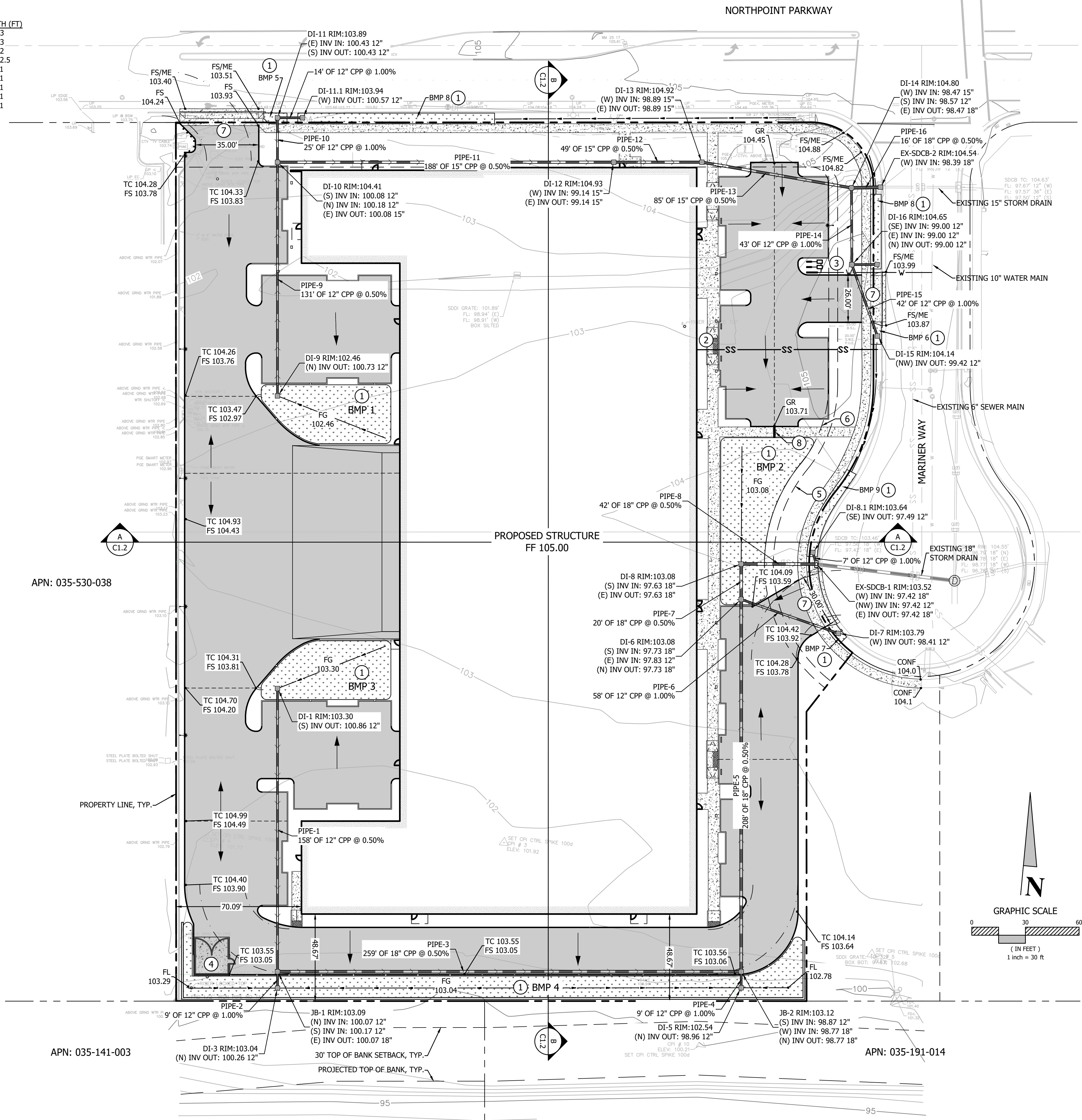
PLAN VIEW
NTS

- KEY NOTES:**
- HIGH FLOW BYPASS INLET
 - AMMENDED SOIL OR OPTIONAL PLANTING SOIL MIX PER LOW IMPACT DEVELOPMENT REGULATIONS AND INFILTRATION RATE OF 18 IN/HR
 - 10-MIL PLASTIC MOISTURE BARRIER (BOTH SIDES)
 - FILTER FABRIC
 - 3/4-INCH DRAIN ROCK POROSITY = 0.4 TO MEET LOW IMPACT DEVELOPMENT REGULATIONS

BR BIORETENTION DETAIL

NO SCALE

- NOTES:**
- SOIL TO BE SPECIFIED BY DESIGN ENGINEER TO PROVIDE VOLUME CAPTURE AND MEET GOVERNING AGENCY REQUIREMENTS. IF NON STRUCTURAL SOIL IS SELECTED A CUTOFF WALL IS REQUIRED IN PLACE OF MOISTURE BARRIER.
 - SWALE MUST CONVEY DESIGN FLOWS PER GOVERNING AGENCY DESIGN STANDARDS.
 - TOP OF 6" PERFORATED PIPE TO BE SET 6" BELOW BOTTOM OF ROAD STRUCTURAL SECTION.

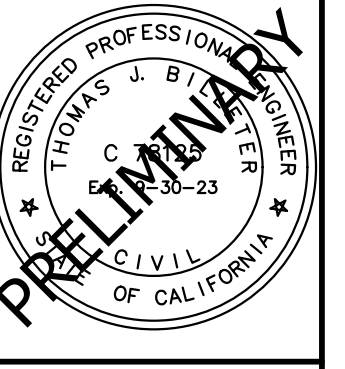


DATE	BY	DESCRIPTION	REV.

BC ENGINEERING GROUP, INC.
 CIVIL ENGINEERING & LAND PLANNING
 www.bceengineeringgroup.com
 Phone: 707.542.4321
 SANTA ROSA OFFICE:
 418 B Street, Third Floor, Santa Rosa, CA 95401
 UKIAH OFFICE:
 603 S. State Street, Ukiah, CA 95482



DESIGN REVIEW
 GRADING AND UTILITY PLAN
 HERITAGE COMMERCE CENTER
 WEST MARINER WAY
 SANTA ROSA, CA 95407

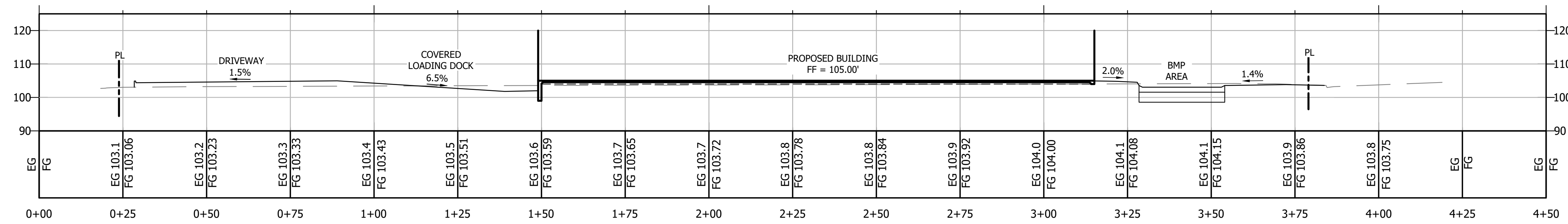


Date: 09/07/2023
 Job: 1978-20
 Drawn: MD/TSL
 Scale: AS SHOWN
 APN: 035-530-016, -055
 Permit #:
 Sheet:

C1.1
2 of 3

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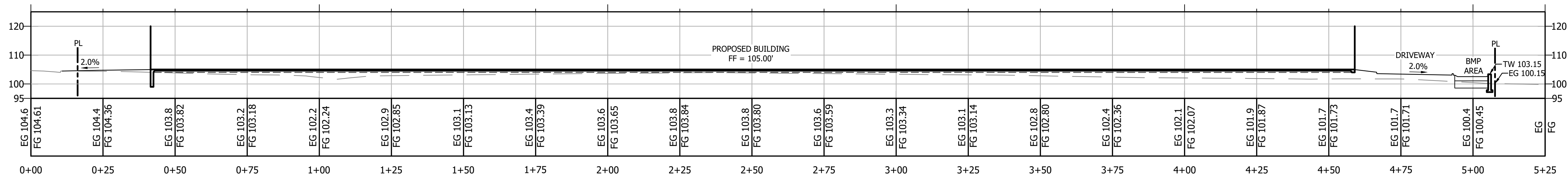


SITE SECTION LEGEND

- FINISH GRADE
- - - EXISTING GRADE
- - - - - PROPERTY LINE

SITE SECTION A-A

HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



SITE SECTION B-B

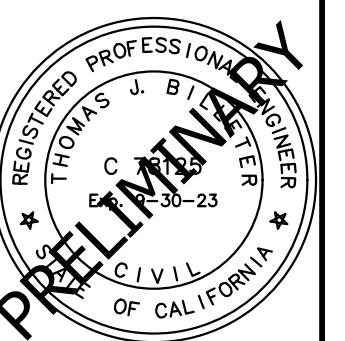
HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'

REV.	DESCRIPTION	BY	DATE

BC ENGINEERING GROUP, INC.
CIVIL ENGINEERING & LAND PLANNING
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 Phone: 707.542.4321
 SANTA ROSA OFFICE:
 418 B Street, Third Floor, Santa Rosa CA 95401
 UKIAH OFFICE:
 603 S. State Street, Ukiah CA 95482



DESIGN REVIEW
CROSS SECTION VIEWS
 HERITAGE COMMERCE CENTER
 WEST MAINER WAY
 SANTA ROSA, CA 95407



Date: 09/07/2023
 Job: 1978-20
 Drawn: MD/TSL
 Scale: AS SHOWN
 APN: 035-530-016,
 -055
 Permit #:

Sheet:
C1.2
 3 of 3

NOT FOR CONSTRUCTION

PROPOSED TREE IMAGERY

Pistachia chinensis - Chinese Pistache



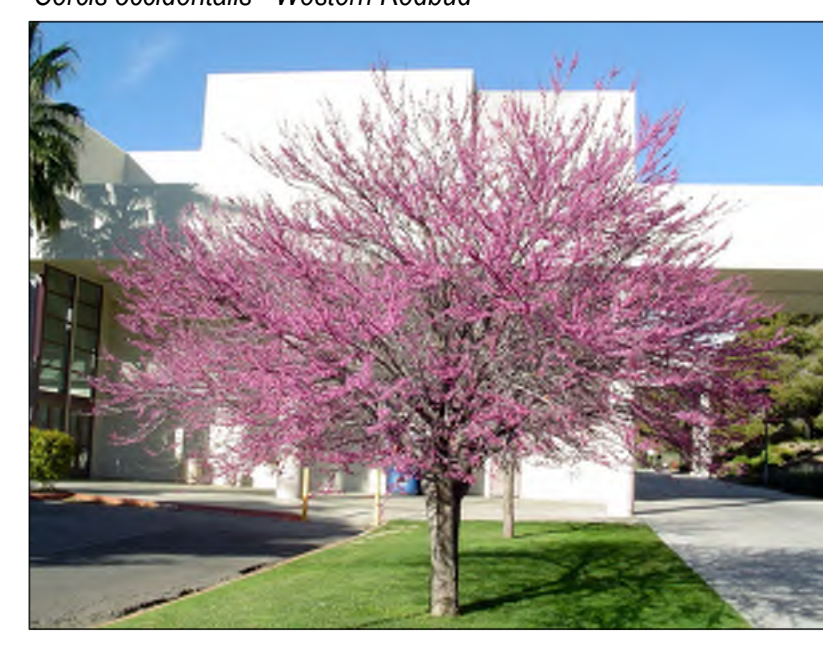
Quercus agrifolia - Coast Live Oak



Arbutus 'Marina' - Strawberry Tree



Cercis occidentalis - Western Redbud



Magnolia 'Little Gem' - Dwarf Magnolia



LANDSCAPE DESIGN INTENT:

- Landscape design intent:** The designed landscape will create continuity with the adjacent landscapes in the development and provide year-round interest in foliage color and form to soften and enhance the look of the new architecture. Signature street trees are selected from the City of Santa Rosa's approved street tree list for narrow spaces and are planted along Northpoint Parkway and Mariner Way on a grid, representing an orchard format. Plant materials selected consist of almost exclusively low water-use and low maintenance species, many native to the area. Understorey and ground cover plantings are generally low profile in stature so as not to interfere with visual access into and within the site. Organic layout of shrubs and ground covers provide a natural-looking landscape. Plant selection emphasizes foliage form and color for year-long attractiveness and structure, with adequate spacing to discourage hard pruning. Dense ground covers provide weed and erosion control and ground covers selected from among fire-resistant species will be planted along the Parkway to provide a fire buffer to the site. No turf grass areas are proposed.
- Tree quantities and placement:** New tree counts exceed the quantity required by the City's tree/parking ratio. Parking areas contain (32) trees at a 1:2.5 ratio with the (81) proposed parking spaces. There are an additional (15) trees for the remaining 9,000 square feet of landscaped area, or (1) tree for every 600 square feet of landscaped area. Street trees are provided at 1 per 20-feet of commercial frontage per the City Design Guidelines (Streetscapes). Street trees are held back 30-feet from the corner curb return.
- Planting scheme at property lines and entries:** Enhanced entry planting will direct users to entry points via bold year-round color and textural contrast. To supplement the screening provided by trees on adjacent parcels, new tree species along the west property line have been added. Trees are located so that at maturity they do not interfere with safe sight distances for vehicular, bicycle, or pedestrian traffic nor will they conflict with overhead utility lines, overhead lights, or walkway lights.
- Root barriers:** Appropriate root barriers shall be provided in any planters and parking islands less than 10' in width.
- Existing trees:** There are no existing trees on site that will require removal.

IRRIGATION STATEMENT:

- All landscaped areas will be provided with an approved, fully automated irrigation system to include an automatic master control with multi-calendar, timer, and multi-station capabilities, in compliance with Section 20-34.060 and with the City's Water Efficient Landscape Ordinance.
- Irrigation system will be designed to avoid runoff, low head drainage, overspray or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures. Proper irrigation equipment and schedules, including repeat cycles, shall be used to closely match application rates to infiltration rates to minimize runoff. Plants with similar water requirements shall be grouped together in distinct hydrozones.
- A master valve and flow sensor will be provided near the irrigation point of connection and connected to the automatic irrigation controller to sense and shutdown the system in case of a catastrophic event. All ground cover, shrub, and perennial planting areas will receive a high-efficiency inline drip system. The automatic irrigation controller will utilize either evapotranspiration or soil moisture sensor data with non-volatile memory. Sensors (rain, freeze, wind, etc.), either integral or auxiliary, that suspend or alter irrigation operation during unfavorable weather conditions will be provided for all zones.

PROPOSED TREE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	HEIGHT X WIDTH AT MATURITY	QTY **	DESCRIPTION
	<i>Arbutus 'Marina'</i>	Strawberry Tree	Low	24" Box	20' x 20'	13	Evergreen accent tree
	<i>Cercis occidentalis</i>	Western Redbud	Low	15 Gal	15' x 15'	6	Deciduous accent tree
	<i>Magnolia 'Little Gem'</i>	Dwarf Magnolia	Moderate	15 Gal	18' x 8'	5	Evergreen accent tree
	<i>Pistacia c. 'Keith Davy'</i>	Chinese Pistache	Low	36" Box	25' x 25'	11	Deciduous shade tree
	<i>Quercus agrifolia</i>	Coast Live Oak	Low	15 Gal	20-75' x 30-60'	5	Native Oak/storm retention area

** Refer to Landscape Design Intent Statement above for more information on tree quantities required.

PROPOSED PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE CATEGORY	INITIAL SIZE	ON CENTER SPACING	DESCRIPTION
Shrubs						
	<i>Arctostaphylos 'Sunset'</i>	Sunset Manzanita	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	<i>Berberis atropurpurea</i>	Japanese Barberry	Low	5 Gal	4'-0" o.c.	Deciduous foundation shrub
	<i>Ceanothus 'Skywalk'</i>	Wild Lilac	Low	5 Gal	6'-0" o.c.	Evergreen foundation shrub
	<i>Heteromeles arbutifolia</i>	Toyon	Low	5 Gal	8'-0" o.c.	Evergreen foundation shrub
	<i>Cistus salvifolius</i>	White Rockrose	Low	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	<i>Lomandra longifolia 'Breeze'</i>	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	<i>Grevillea noelii</i>	Grevillea	Low	5 Gal	5'-0" o.c.	Evergreen foundation shrub
	<i>Pennisetum orientale</i>	Fountain Grass	Low	1 Gal	3'-0" o.c.	Ornamental Grass
	<i>Rosa 'Flower Carpet Red Rose'</i>	Rosa x 'Noam'	Moderate	5 Gal	3'-0" o.c.	Semi deciduous accent shrub
	<i>Salvia gregii 'Purple'</i>	Purple Sage	Low	5 Gal	3'-0" o.c.	Evergreen foundation shrub
	<i>Xylocma c. compacta</i>	Compact Xylocma	Low	5 Gal	5'-0" o.c.	Evergreen hedge shrub
Ground Cover						
	<i>Ceanothus g.h. 'Yankee Point'</i>	California Lilac	Low	5 Gal	6'-0" o.c.	Evergreen ground cover
	<i>Coprosma p. 'Verde Vista'</i>	Coprosma	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	<i>Cotoneaster lowfast</i>	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
Storm Retention Planting						
	<i>Carex divivula</i>	Berkeley Sedge	Low	1 Gal	2'-0" o.c.	Water-tolerant ornamental grass
	<i>Chondropetalum tectorum</i>	Small Cape Rush	Low	1 Gal	4'-0" o.c.	Water-tolerant ornamental grass
Corner/Entry Treatment						
	<i>Coloanema p. 'Sunset Gold'</i>	Bright Star Yucca	Moderate	5 Gal	4'-0" o.c.	Evergreen foundation shrub
	<i>Cotoneaster lowfast</i>	Bearberry	Low	5 Gal	5'-0" o.c.	Evergreen ground cover
	<i>Lomandra longifolia 'Breeze'</i>	Dwarf Mat Rush	Low	5 Gal	3'-0" o.c.	Evergreen "grass-like" shrub
	<i>Loropetalum chinense</i>	Chinese Fringe Flower	Moderate	5 Gal	5'-0" o.c.	Evergreen foundation shrub
Vines						
	<i>Parthenocissus tricuspidata</i>	Boston Ivy	Low	1 Gal	4'-0" o.c.	Deciduous Climbing Vine

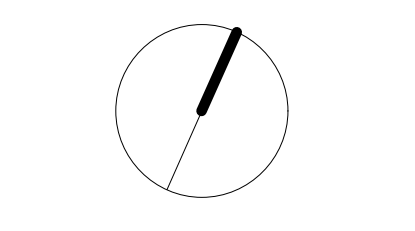
DESIREE GARON
LANDSCAPE ARCHITECT

308 HATCHERY LANE
SONOMA, CA 95476
PH (707) 694-6139
CALIFORNIA PLA #5216
EXP 11/30/21



HERITAGE COMMERCE CENTER

NORTHPOINT PARKWAY
AT MARINER WAY
SANTA ROSA, CA
95407



REVISIONS

9/13/23

DATE: 2/26/22

SCALE: 1" = 30'-0"

DRAWN: DJG

LANDSCAPE SITE PLAN

L1.0

CLIENT:

McNeill Real Estate Services, Inc.
 Jose McNeill
 5254 Tapestry Ct. - Fairfield, CA 94534
 (916) 718-5659
 Ca DRE # 01138862

PRELIMINARY DESIGN DOCUMENTS FOR:

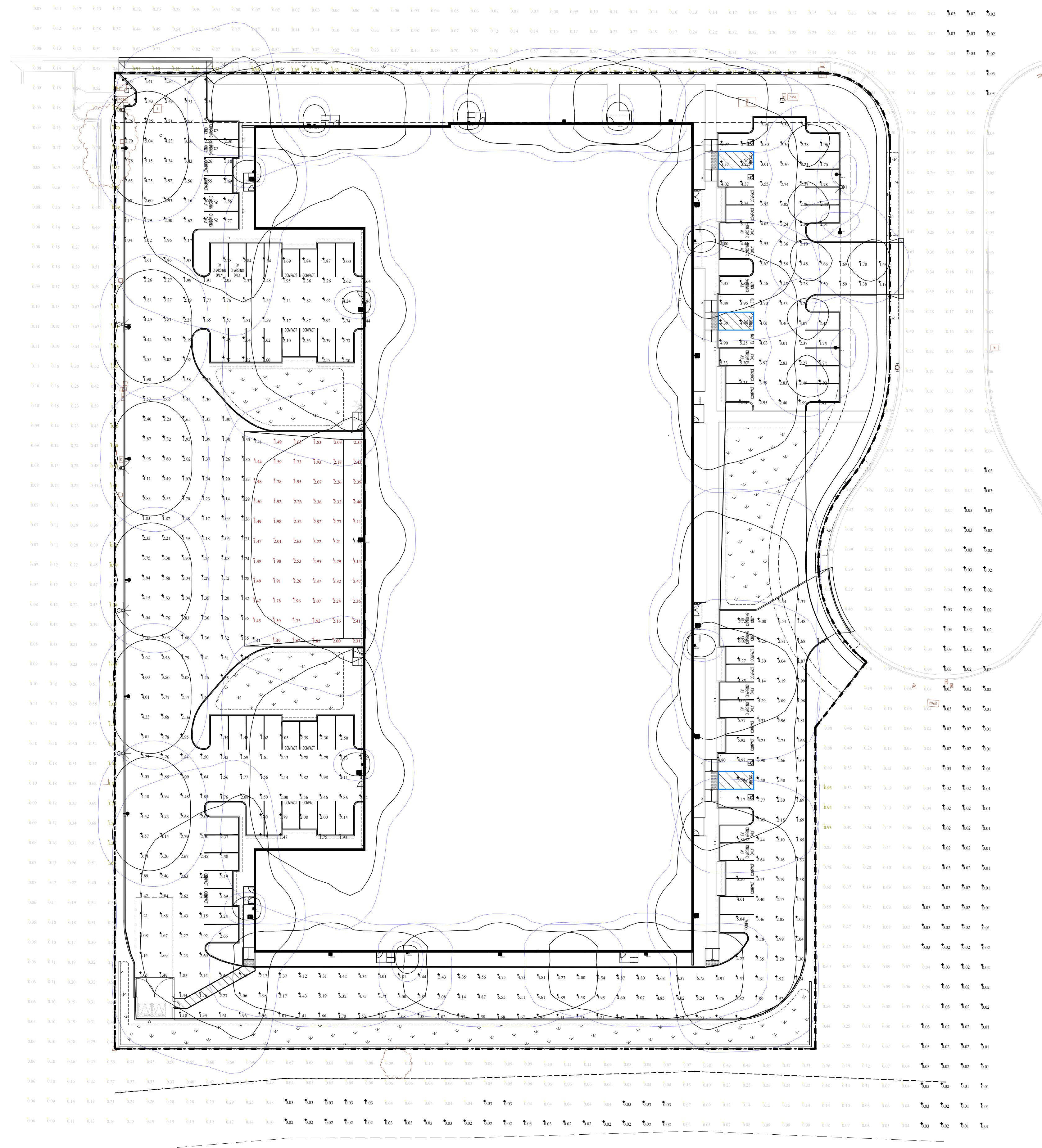
HERITAGE COMMERCE CENTER

NORTHPOINT PARKWAY AT MARINER WAY
 SANTA ROSA, CALIFORNIA

approved for the owner by :

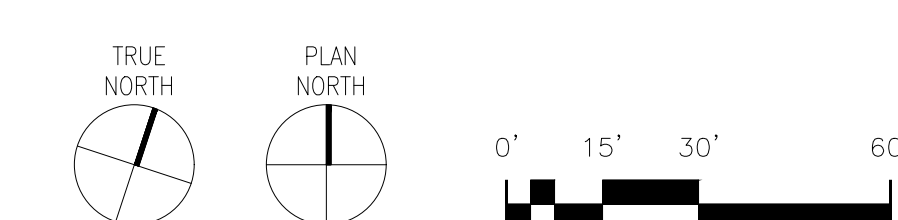
approved for the architect by :

issue :	description :	date :
A	ISSUED FOR REVIEW	09-11-2023



Luminaire Schedule Symbol	Qty	Label	Arrangement	[MANUFAC]	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	BUG Rating
⊖	3	P	SINGLE	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	TT-D3-740-U-T4-PM	0.900	5348	48.8	146.4	B2-U0-G3
⊖	6	P3	Single	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	TT-D5-740-U-T4-PM	0.900	7938	62.3	373.8	B2-U0-G3
⊞	10	W1E	SINGLE	WE-EF USA	131-0233_us MOUNTING HEIGHT 10 FT	0.900	517	16	160	N.A.
⊞	10	W4	Single	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-XL-PA3A-740-U-T4W	0.900	24325	172	1720	B3-U0-G4
⊞	6	W6	Single	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PA2A-740-U-T2U	0.900	15795	112	672	B3-U0-G3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Loading Dock	ILLUMINANCE	Fc	2.11	3.68	1.41	1.50	2.61
Parking	ILLUMINANCE	Fc	2.66	6.75	1.00	2.66	6.75
Perimeter Spill Light	ILLUMINANCE	Fc	0.28	3.37	0.01	28.00	337.00



PRELIMINARY PHOTOMETRIC OVERALL LIGHTING SITE PLAN

SCALE: 1" = 30'-0"

1

LIGHTING NOTES:
 POLE LIGHTS MOUNTING HEIGHT IS 16 FT (POLE+BASE+LIGHT)
 BUILDING DOCK LIGHTS MOUNTING HEIGHT IS 27'-6"
 BUILDING LIGHTS MOUNTING HEIGHT IS 21'-0"
 BUILDING ABOVE DOORS EMERGENCY LIGHTS TYPE W1E MOUNTING HEIGHT IS 10 FT
 ALL LIGHTS ARE FULL CUT-OFF

drawn by : TG plot date : 09-11-2023

checked by : AGUDL

stamp



scale : AS NOTED

project number : 2204025.00


PRELIMINARY PHOTOMETRIC LIGHTING PLAN

sheet no. :

PH01.1

TYPE P1, P2 & P3

Project	Catalog #	Type
Proposed by	Notes	Date



McGraw-Edison TT TopTier
Area / Site Luminaire

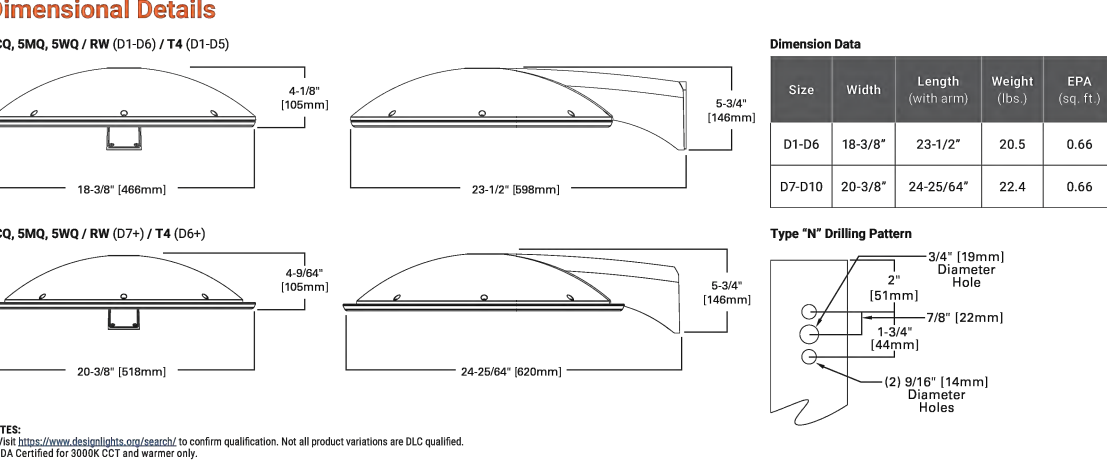
Product Features

- Interactive Menu
- Product Certifications
- Connected Systems

Quick Facts

- Lumen packages range from 2,757 - 22,831
- Efficacies up to 146 lumens per watt
- Utilizes patented waveguide technology for maximum visual comfort

Dimensional Details



McGraw-Edison TT TopTier

Ordering Information

Product Family	Configuration	Quantity	Material	Finish	Notes
TT TopTier	100-100-1000-001	100	Aluminum	White	100-100-1000-001

Product Specifications

General

- Material: Anodized Aluminum
- Finish: White
- Weight: 1.5 lbs

Optical

- Beam Spread: 120°
- Mounting Height: 10'-0"

TRACE LITE
commercial & industrial lighting

SCP-S Series
Surface Mount Performance LED Canopy

DESCRIPTION

The SCP-S Series is a commercial & industrial lighting canopy with a variety of precision engineered optics for application flexibility. This canopy optima offers excellent performance and long life with superior thermal management to attract and durable die-formed aluminum enclosure with a premium PMMA lens that does not yellow over time. This product can be easily surface or pendant mounted and is the ideal energy saving solution for applications including, but not limited to, parking garages, schools, office buildings, retail commercial development, apartments, walkways, entryways and stairwells.

CONSTRUCTION

- Precision die-formed aluminum enclosure and backplate with stainless steel hardware
- White powder coat finish, custom colors available upon request
- IP65 rated light engine compartment
- Single 1/2" side knockout

OPTIONAL

- Clear or tinted polycarbonate (PC) or acrylic (PMMA) optics that will not yellow over time
- Change optics provides a type V short symmetric square distribution with light distribution 10' to 90' zones to optimize spacing with even light distribution

Performance

- Performance optic provides a type VS (vertical) very short distribution and offers more light in the 30° to 90° zones, ideal for higher mounting heights over 12'
- Low glare optic provides excellent Type VS (vertical) short distribution with exceptional glare control
- From 20W to 100W with up to 9000 lumens for maximum project flexibility
- Efficacies up to 134 LM/W maximize energy savings and utility rebates
- >4000 CCT and 9000K CCT
- L70 of 100,000 hours
- CRI: 91

ELECTRICAL

- 120V/170VAC, 50/60Hz
- 0-10V Dimming driver

INSTALLATION

- Backplate is attached to backplate by four white fasteners
- Backplate easily attaches to a recessed 2" or 4" joist
- Fastener mounting using standard 1/2" threaded and hardware (supplied by other)

OPTION

- Integral battery backup (IBB) offers up to 900 lumens and 90 minutes of runtime for 90 minutes of runtime. Based on ambient temperature between 0°C to 40°C (32°F to 104°F). Type VS Square Beam

TESTING & COMPLIANCE

- UL Listed (UL 159) for Wet Locations for covered canopy applications (See performance data on page 2 for specific models)
- Deep-Light Consortium (DLC) and DLC PREMIUM Qualified (See performance data on page 2 for specific models)
- Operating temperature: -40°C to 40°C (-40°F to 104°F)

WARRANTY

- 5-year warranty (terms and conditions apply)

ORDERING INFORMATION

Example: SCP-S-20-FV-4K-60-00-00

Series	Wattage	Output	CCT	Finish	Options
SCP-S	20	2000	4000K	White	None
SCP-S	36	3600	4000K	White	None
SCP-S	50	5000	4000K	White	None

PERFORMANCE DATA

MODEL	STOCK/MTO*	WATTAGE (W)	CCT	LUMENS	EFFICACY	CRI	DLC
SCP-S-20-FV-4K	STOCK	20	4000K	2000	110	72	DLC
SCP-S-20-FV-4K	MTO	20	4000K	2343	104	72	DLC PREMIUM
SCP-S-20-FV-4K	STOCK	20	4000K	2670	130	72	DLC PREMIUM
SCP-S-20-FV-4K	MTO	20	4000K	2950	114	72	DLC
SCP-S-20-FV-4K	MTO	20	5000K	2953	130	72	DLC PREMIUM
SCP-S-20-FV-4K	MTO	20	6000K	2670	129	72	DLC PREMIUM
SCP-S-36-FV-4K	STOCK	36	4000K	4227	117	72	DLC PREMIUM
SCP-S-36-FV-4K	MTO	36	4000K	4802	130	72	DLC PREMIUM
SCP-S-36-FV-4K	STOCK	36	4000K	4815	133	72	DLC PREMIUM
SCP-S-36-FV-4K	MTO	36	5000K	4202	116	72	DLC PREMIUM
SCP-S-36-FV-4K	MTO	36	5000K	4901	136	72	DLC PREMIUM
SCP-S-36-FV-4K	MTO	36	5000K	4933	133	72	DLC PREMIUM
SCP-S-50-FV-4K	STOCK	50	4000K	5702	114	72	DLC
SCP-S-50-FV-4K	MTO	50	4000K	6308	125	72	DLC PREMIUM
SCP-S-50-FV-4K	MTO	50	4000K	6308	131	72	DLC PREMIUM
SCP-S-50-FV-4K	MTO	50	5000K	5590	112	72	DLC
SCP-S-50-FV-4K	MTO	50	5000K	6178	123	72	DLC PREMIUM
SCP-S-50-FV-4K	MTO	50	5000K	6742	130	72	DLC PREMIUM
SCP-S-67-FV-4K	MTO	67	4000K	7823	117	72	DLC PREMIUM
SCP-S-67-FV-4K	MTO	67	4000K	8408	126	72	DLC PREMIUM
SCP-S-67-FV-4K	MTO	67	4000K	8940	133	72	DLC PREMIUM
SCP-S-67-FV-4K	MTO	67	5000K	7847	118	72	DLC PREMIUM
SCP-S-67-FV-4K	MTO	67	5000K	8589	128	71	DLC PREMIUM
SCP-S-67-FV-4K	MTO	67	5000K	9018	134	72	DLC PREMIUM

COOPER Lighting Solutions

TYPE W2

PERFORMANCE IN LIGHTING

SHIELD+ 2 TYPE III

Part number 010489

Luminaire LED

Wattage 80 W

Finish 6000K / 10000K / Textured

Degree of protection IP66

CRI 90

Kelvin 4000

Optic Asymmetric extra wide reflector

Luminaire lumens output 7385 lm

L 5.85

B 8.03

LifeTime 50000 h

ULCUL 50000 h

Voltage 120-277V 50/60 Hz

Description

Long lasting energy efficient wall pack series. Features consist of:

- Highly precise non-polluting, optimized optical design for even and uniform
- Capable of providing die-cast aluminum housing and mounting plate
- Custom mold, anti-glare material
- Custom mold, anti-glare material
- High efficiency LED combined with optimized passive cooling system, provides a long life span
- Specialty anodized aluminum polycarbonate reflector provides full cut-off, a glare shield, and protection against vandalism
- 6000K Type III, 6000K distribution
- Input voltage: 120-277V 50/60 Hz, integral 0-10V dimming driver
- Input voltage: 120-277V 50/60 Hz, integral 0-10V dimming driver (17W to 30W versions)
- Fast installation integral die-cast aluminum and polycarbonate (17W to 30W proprietary SSP switch driver for SHIELD+ 2 30W factory setting, 40W to 80W versions)
- Standard hood, custom mounting system
- Available for three surface mounted, recessed canopy series with 127, 145, 165, 185, 200, 220, 240, 260, 280, 300, 320, 340, 360, 380, 400, 420, 440, 460, 480, 500, 520, 540, 560, 580, 600, 620, 640, 660, 680, 700, 720, 740, 760, 780, 800, 820, 840, 860, 880, 900, 920, 940, 960, 980, 1000, 1020, 1040, 1060, 1080, 1100, 1120, 1140, 1160, 1180, 1200, 1220, 1240, 1260, 1280, 1300, 1320, 1340, 1360, 1380, 1400, 1420, 1440, 1460, 1480, 1500, 1520, 1540, 1560, 1580, 1600, 1620, 1640, 1660, 1680, 1700, 1720, 1740, 1760, 1780, 1800, 1820, 1840, 1860, 1880, 1900, 1920, 1940, 1960, 1980, 2000, 2020, 2040, 2060, 2080, 2100, 2120, 2140, 2160, 2180, 2200, 2220, 2240, 2260, 2280, 2300, 2320, 2340, 2360, 2380, 2400, 2420, 2440, 2460, 2480, 2500, 2520, 2540, 2560, 2580, 2600, 2620, 2640, 2660, 2680, 2700, 2720, 2740, 2760, 2780, 2800, 2820, 2840, 2860, 2880, 2900, 2920, 2940, 2960, 2980, 3000, 3020, 3040, 3060, 3080, 3100, 3120, 3140, 3160, 3180, 3200, 3220, 3240, 3260, 3280, 3300, 3320, 3340, 3360, 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