# A Remodel for:

# Blake & Brauley McNulty

# 642 Oak Street, Santa Rosa

# AND HGR HANGER # POUND OR NUMBER HSS HOLLOW STEEL SHAF (E) EXISTING (N) NEW ID INSIDE DIAMETER (R) RENOVATED INSUL INSULATION  AC ASPHALT CONCRETE JBOX JUNCTION BOX AC AIR CONDITIONING AD AREA DRAIN KD KILIN DRIED AFCI ARC FAULT CIRCUIT KP KING POST INTERRUPTOR APPROX APPROXIMATE MECH MECHANICAL ARCH ARCHITECTURAL MDF MEDIUM DENSITY FIBER BOARD MTL METAL BLOG BUILDING MFR MANUFACTURER BLK BLOCKING M=L MICRO-LAM BEAM BLW BELOW BM BEAM NIC NOT IN CONTRACT BOX DON'S SHINK BSL BUILDING SETBACK LINE NTS NOT TO SCALE BTW BETWEEN  CANT CANTILEVER OSS OBSCURE CL CENTER LINE OC ON CENTER CLG CELLAN OUT COL COLUMN CONCRETE MASONRY UNIT OS CO CLEAN OUT COL COLUMN CONC CONCRETE PERP PERPENDICULAR CONT CONTINUOUS COX CONCRETE PERP PERPENDICULAR COX CONTINUOUS COX COUNTERSINK CTR CENTER  DBL DOUBLE RET RETAINING CTR CENTER  DBL DOUBLE RET RETAINING DBL DOUBLE RET RETAINING DBL DOUBLE RET RETAINING DBT DOTON DS DOWNSPOUT SAD SELECT STRUCTURAL COX CRAINERS STAGGERRED  DOWN SPECK COX STAINLESS STEEL COX COX COX CRAIN STAIL COX	
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CONTROL DEVICE

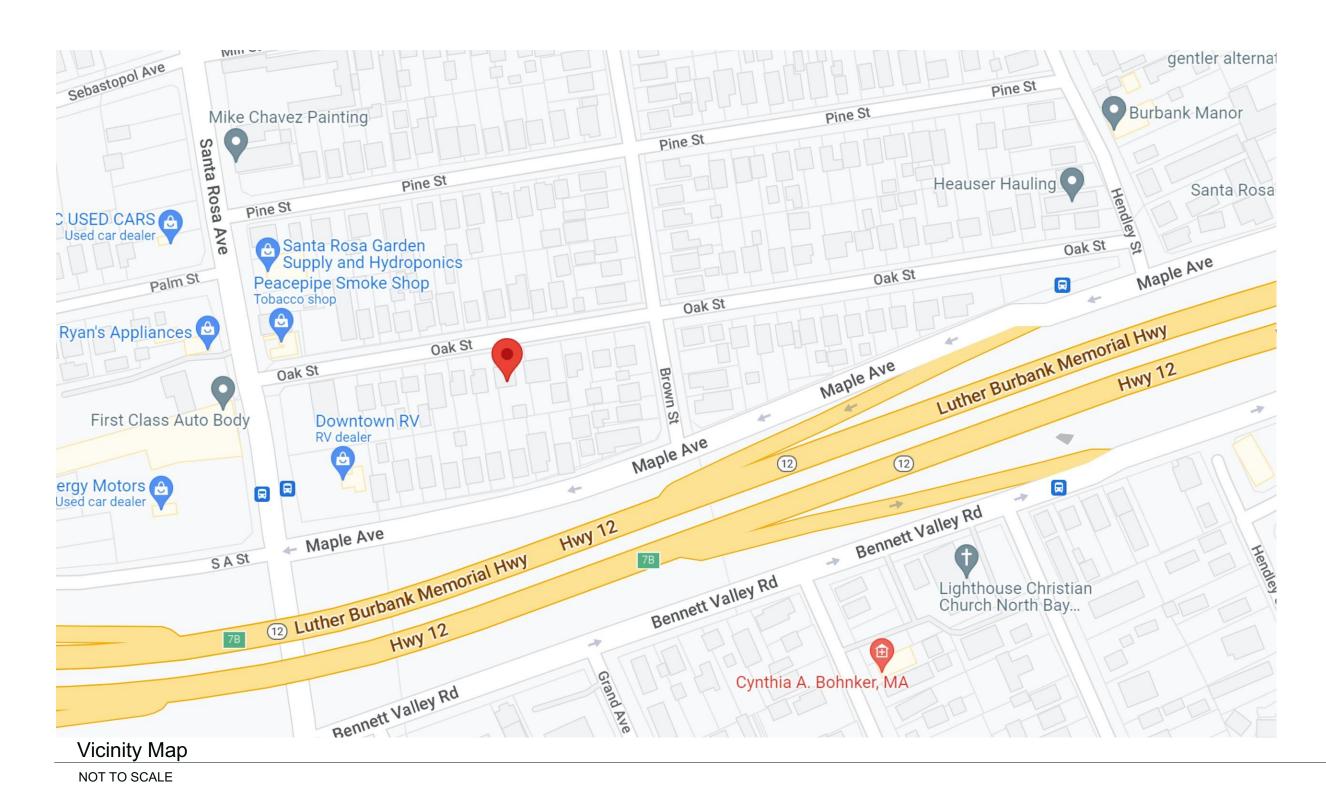
(LIMIT OPENING TO <4")

WEATHERSTRIPPING

WEATHER RESISTIVE

WELDED THREADED STUD

WATERPROOF



#### **DEMOLITION NOTES**

- 1. Contractor and his subcontractors are to verify all existing conditions before commencing with work, in order to ensure conformance with design drawings. All inconsistencies shall be brought to the attention of the owner prior to proceeding with
- 2. Layout of new work is largely based upon relationships to existing conditions. Any questions regarding the intent related to the layout of the new work shall be brought to the attention of the designer prior to proceeding with any work.

#### CONTRACTOR REQUIREMENTS

- All work to be performed must be by a licensed contractor and or subcontractor. All construction shall conform to the applicable building codes and any other local codes and ordinances in force at the time of construction. All materials shall conform to and be installed in accordance with manufacturer's specifications for the specific product and/or service.
- The intent of the documents is to include all labor, materials, equipment and transportation necessary for the complete and proper execution of the work, consistent with good practice. Any work or item not specifically called for in the drawings but required for a complete and fully functioning installation consistent with the intent of the documents shall be supplied by the contractor and his subcontractors.
- Deviations or alterations to any portion of the work of specific details shall not be done unless approved by the owner and/or designer prior to work being done.

Any changes and or additional work to be performed must be submitted on a written

- change order with a cost estimate prior to work being performed. Contractor to supply owner with schedule of work to be performed with a completion
- Contractor to provide toilet facilities.
- Protect all areas outside of the project area.
- Contractor to protect and store all materials from weather and elements. 10. On a daily basis, clean up and cart away debris; broom sweep all areas involved in the
- 11. Contractor to haul away debris as necessary. Contractor to provide dumpster. 12. Contractor shall be held responsible for all loss and damage that may happen to work or
- the any of the materials used thereon until the acceptance of the work by the owner. Damage incurred to existing conditions to remain are to be returned to their original 13. General contractor and any subcontractors shall guarantee all work installed by him/her
- for a period of one (1) year, unless noted otherwise. 14. At the completion of the work, all glass, floors, plumbing fixtures, etc., shall be
- thoroughly cleaned and polished. All plumbing, heating, electrical systems shall be in satisfactory working condition. All exterior areas shall be left clean and free from debris, rubbish and miscellaneous materials.
- 15. The contractor and subcontractors agree that during the guarantee period, any defective work and any other work damaged thereby, shall be replaced promptly and properly without cost to the owner.

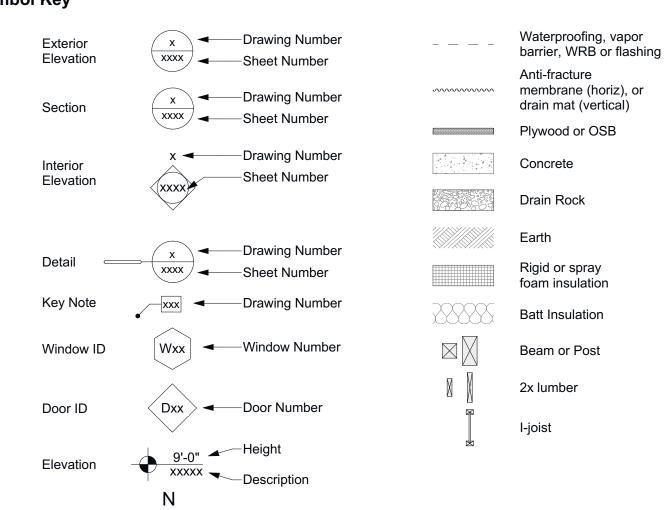
- 16. Manufacturers' printed or published instructions shall be strictly complied with for the incorporation of all manufactured materials and equipment into the building.
- 17. A punch list of missing items, uncompleted work, and defective work shall be made by the contractor prior to the owner's occupancy of the work under contract. The owner, contractor and designer shall review and accept the punch list, on site, which will be incorporated into the notice of substantial completion filed by the owner.
- 18. The filing of the notice of substantial completion by the owner starts the warranty and guarantee period, as well as the lien period for the subcontractors.
- 19. When the owner occupies the space prior to completion, the contractor is not responsible for damages that have not been documented as defective before owner occupancy, except for defective or missing items.
- Remove existing work as indicated on the drawings and as necessary for new work. Verify with the owner before discarding any removed salvageable materials.
- 21. The owner shall be instructed as to the use and maintenance of each piece of

#### **GENERAL CONSTRUCTION NOTES**

North Arrow

1. Plans are not to be scaled, refer to written dimensions or contact Architect for

#### Symbol Key



#### **Code Summary**

2022 California Residential Code 2022 California Electrical Code 2022 California Mechanical Code 2022 California Plumbing Code 2022 California Energy Code 2022 California Fire Code 2022 Green Building Code

#### City of Santa Rosa local ordinances & regulations

#### **Project Information**

Project Name:	McNulty Resid
Project Location:	642 Oak Stree
APN:	009-331-030
Acres:	0.15 acres
Zoning:	Low Residentia
Building Type:	Residential
Occupancy Type:	R-3
Construction Type:	V-B unsprinkle
••	·

#### **Building Limits**

Maximum he	eight:	35 ft.
,	econdary structure)	20'-0"
		0 0
Setbacks (se Fron Side: Rear	t: :	20'-0" 5'-0" 5'-0"

#### **Project Description**

Remodel kitchen, remove windows on side yard. Replace window at rear with a door and replace a door at rear with a window. Replace additional windows toward rear of property.

#### **Deferred Submittals**

#### **Area Summary**

#### **BUILDING AREA**

(E) Living Area:	1,426 sq. ft.
Remodel Area:	276 sq. ft.

#### **BUILDING HEIGHT** Proposed building height:

#### **Directory**

OWNER Blake & Brauley McNulty 642 Oak Street Santa Rosa, CA 95404

#### **ARCHITECT** Winfield Klein 61 Montgomery Drive Santa Rosa, CA 95404 winfield@kleinarch.design (707) 364-3589

**REVISIONS:** 

Santa Rosa, CÁ 95404 (707) 364 - 3589 winfield@kleinarch.desigi

**McNulty** 

#### **Sheet Index**

A001	Cover Sheet
A002	Site Plan

Existing Plan, Demo Plan A102 Proposed Floor Plan

Existing Exterior Elevations

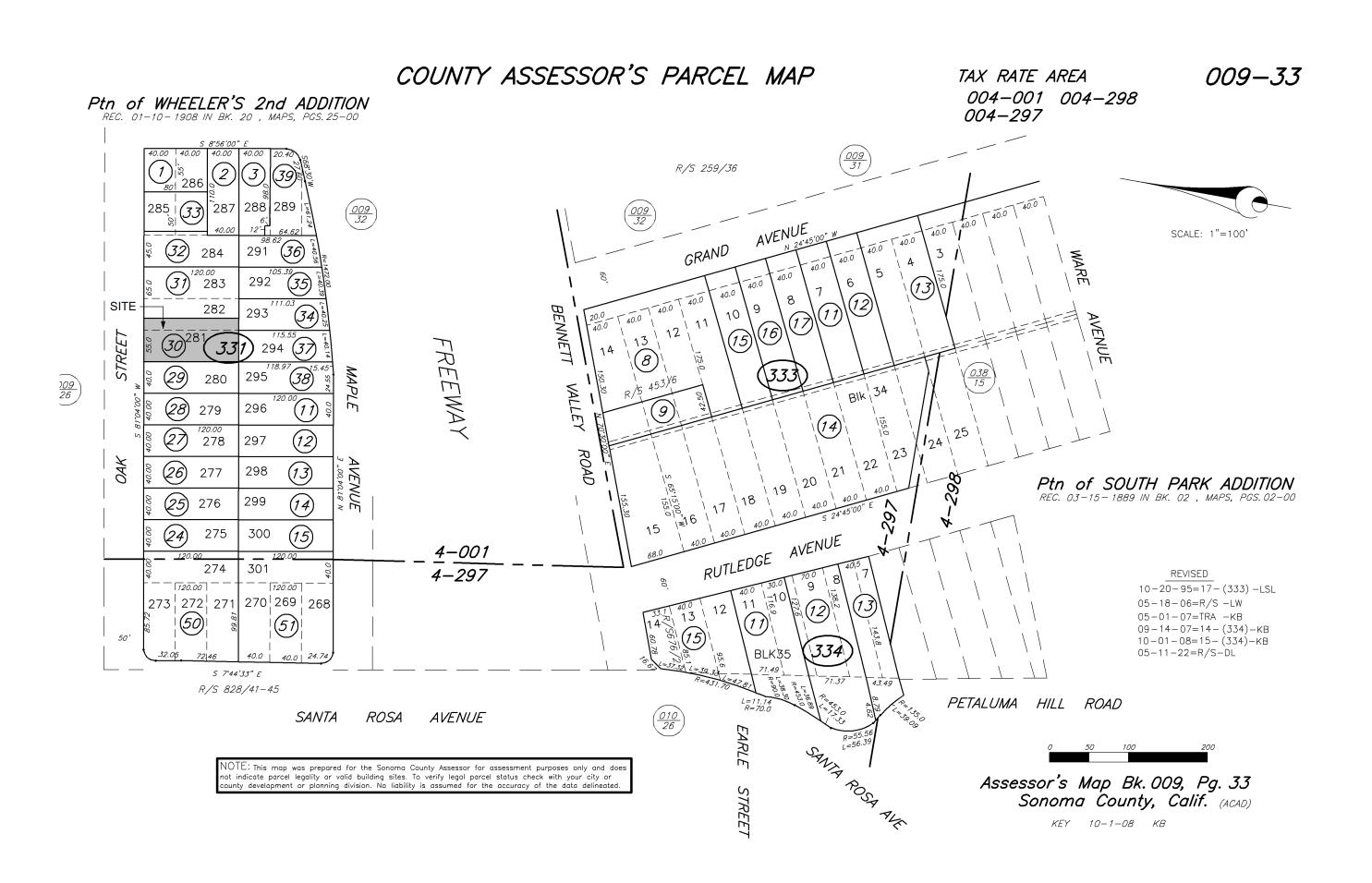
A202 Proposed Exterior Elevations



DESIGNER: WK + TK

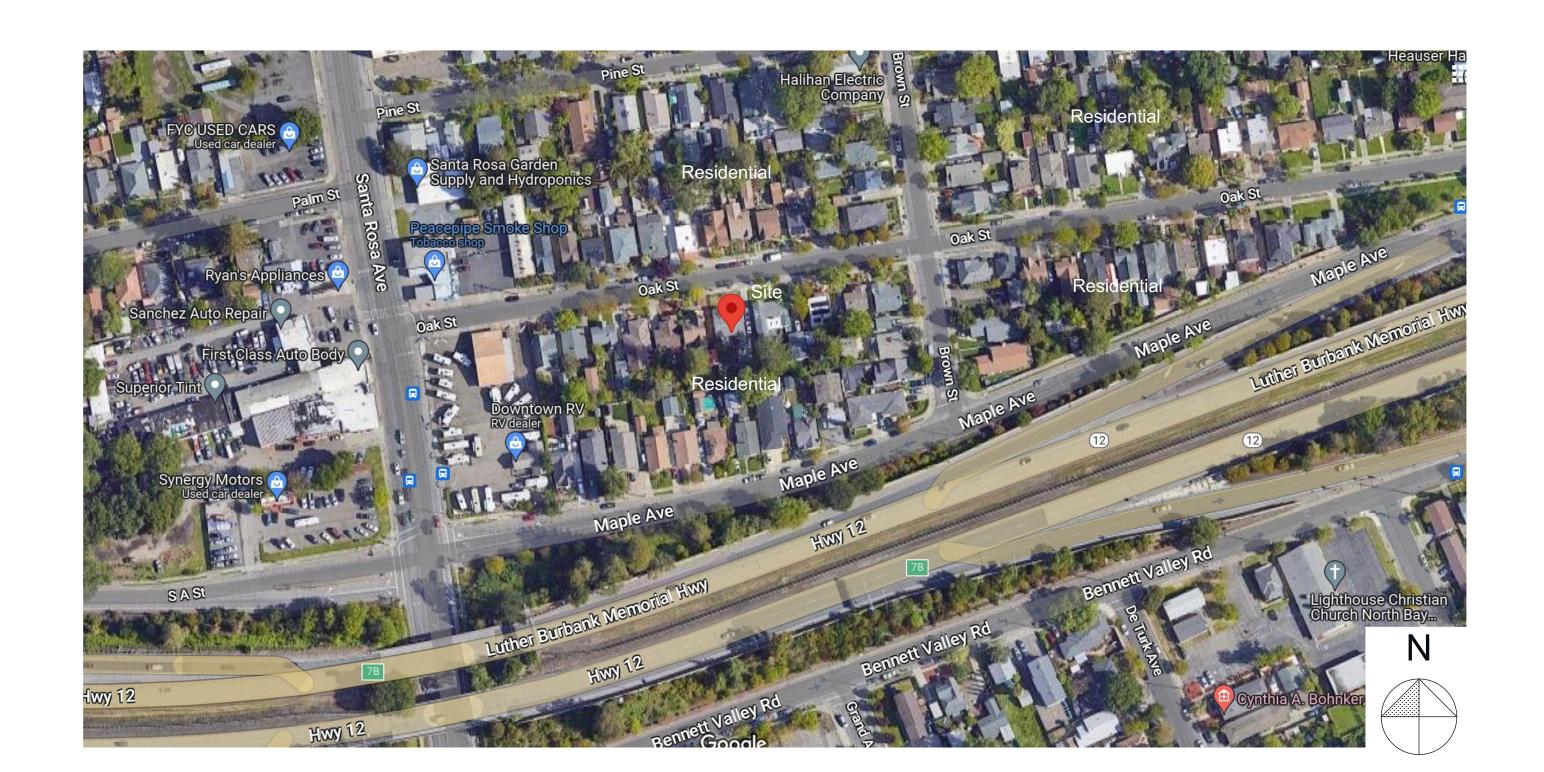
Sept 21, 2023 LAYOUT NAME:

Cover Sheet SHEET NO.

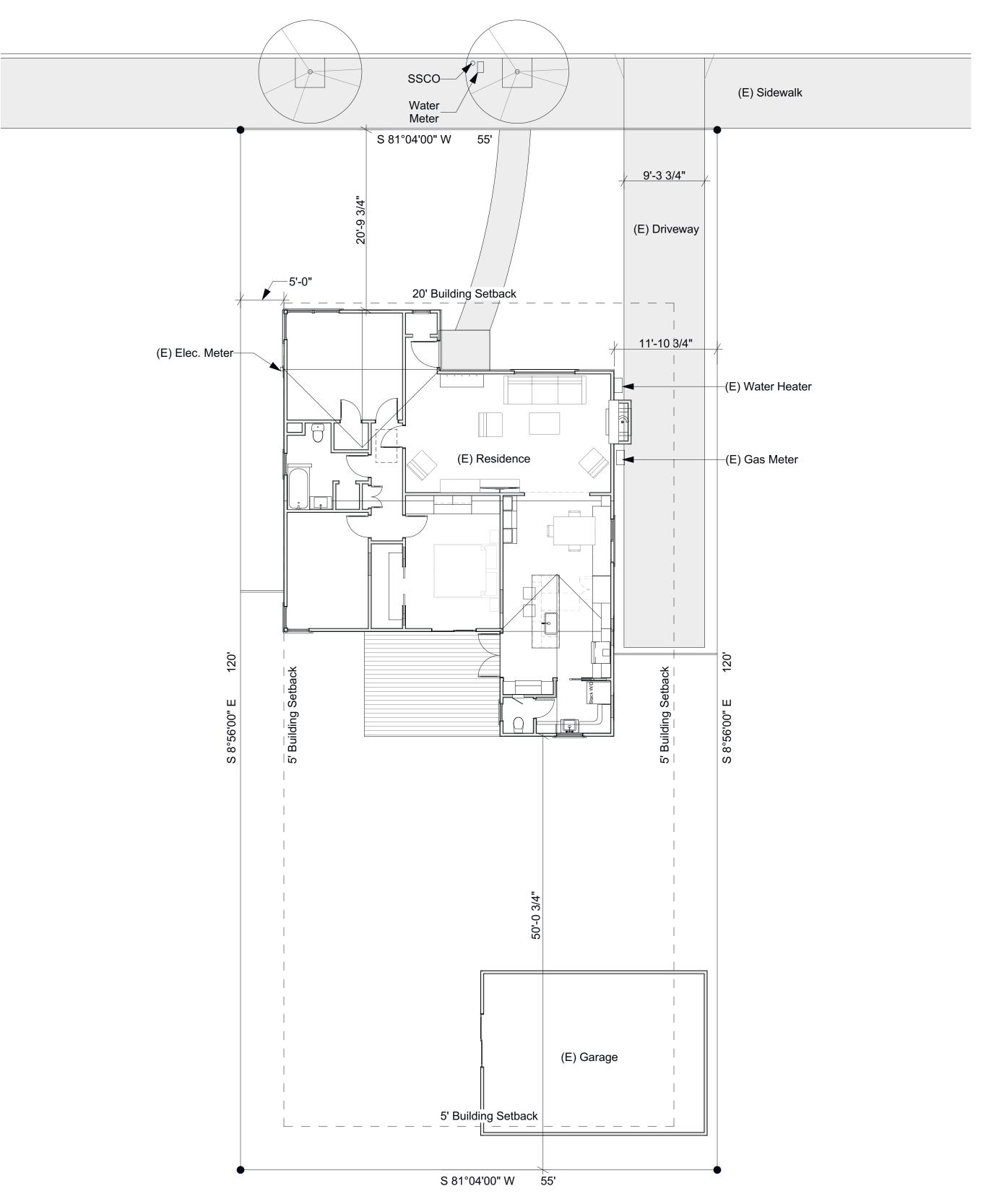


### Assessors Parcel Map

NOT TO SCALE



# Oak Street



architecture + design i

61 Montgomery Drive Santa Rosa, CA 95404 (707) 364 - 3589 winfield@kleinarch.design

<u>I</u>

iuley McNu Jak Street

Slake & Braul

REVISIONS:



DESIGNER: WK + TK

DATE: Sept 21, 2023

LAYOUT NAME: Site Pla

SHEET NO.

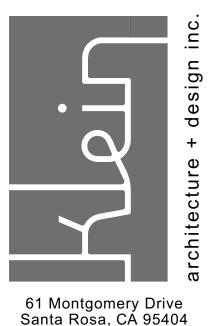
**A002** 

Neighborhood Context Map

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Site Plan

SCALE: 1/8" = 1'-0"



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& Brauley McNulty
642 Oak Street
ta Rosa, California 95404
APN: 009-331-030

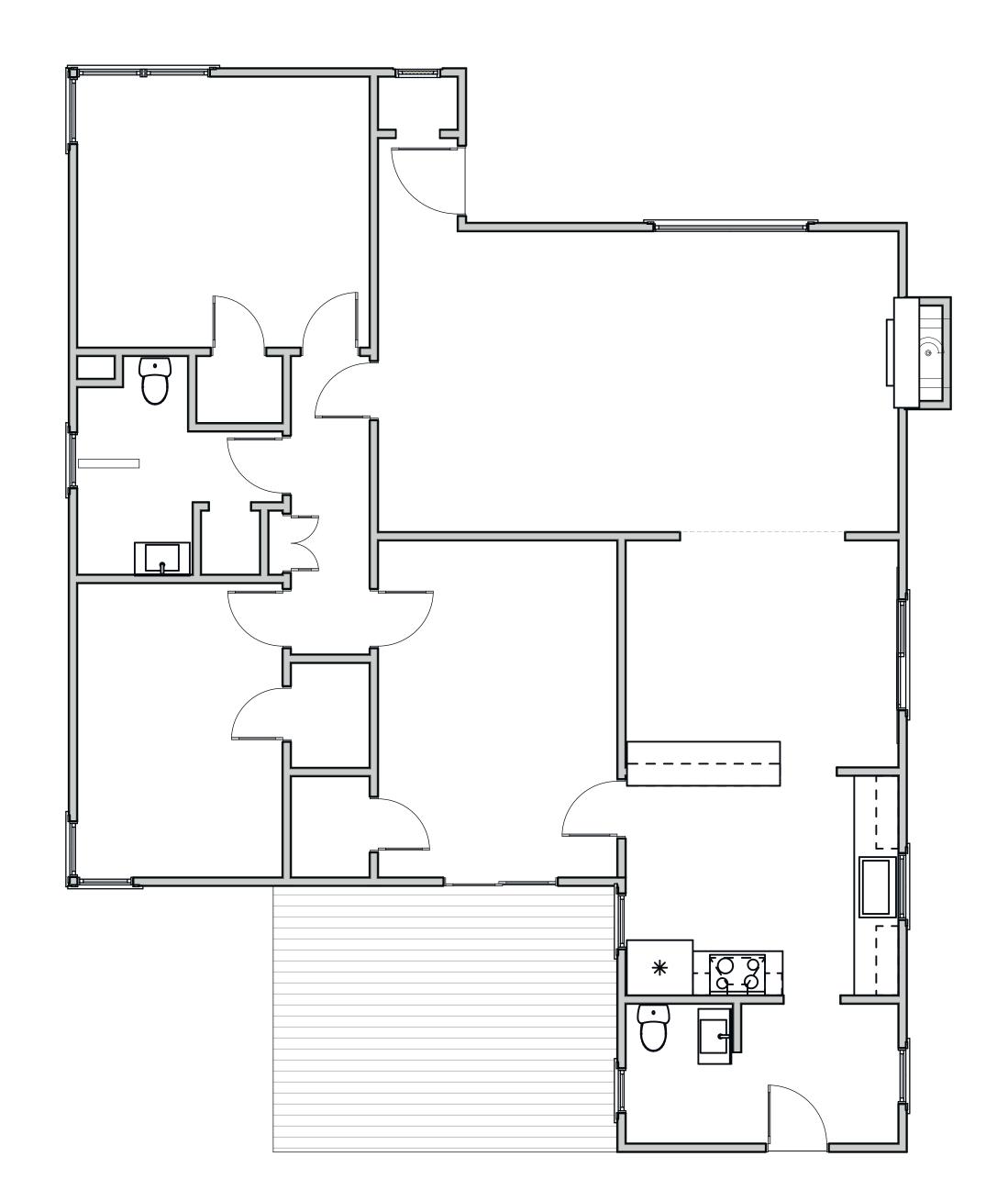
REVISIONS:

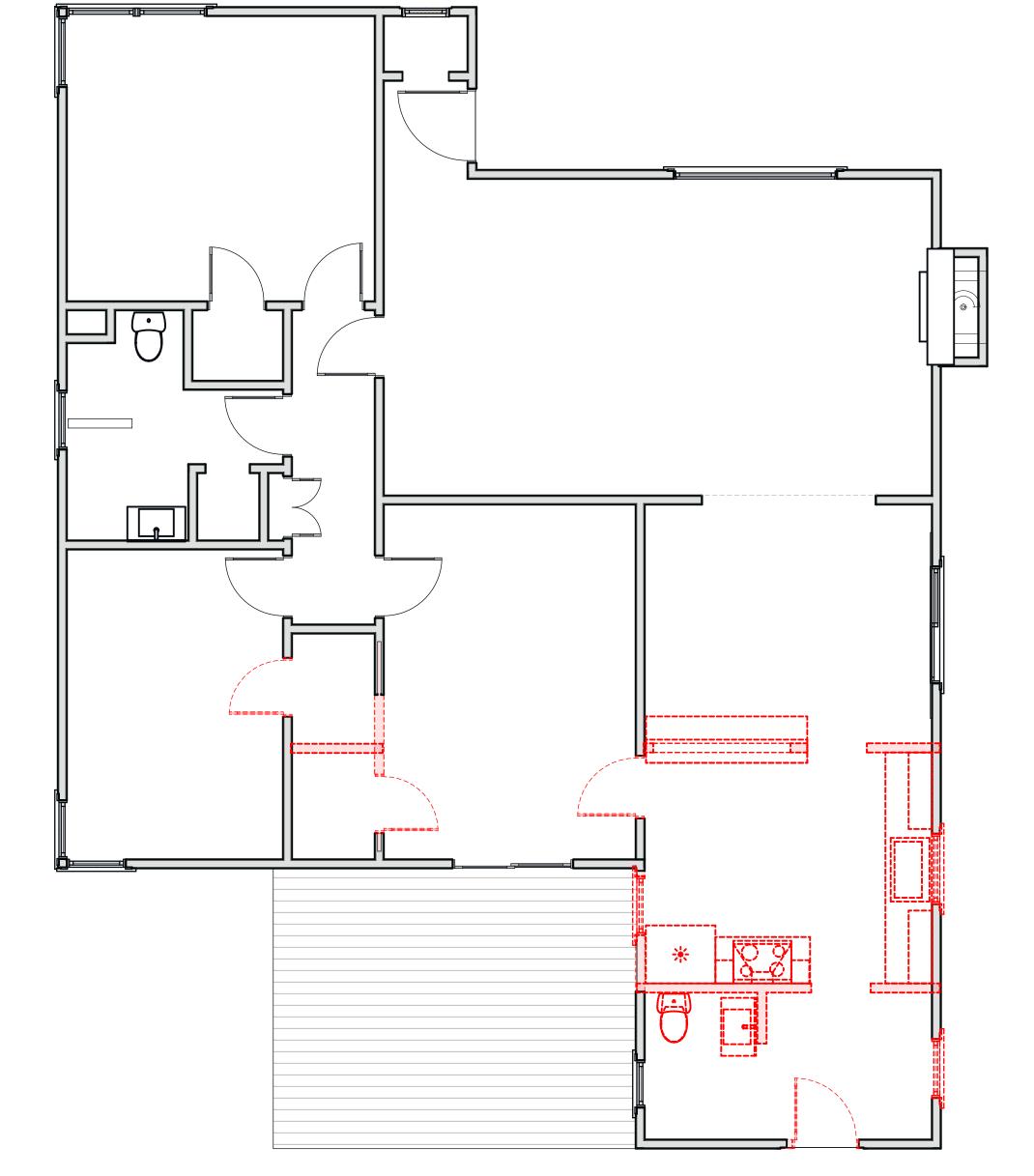
N

DESIGNER: WK + TK

Sept 21, 2023 LAYOUT NAME: Existing Plan, Demo Plan

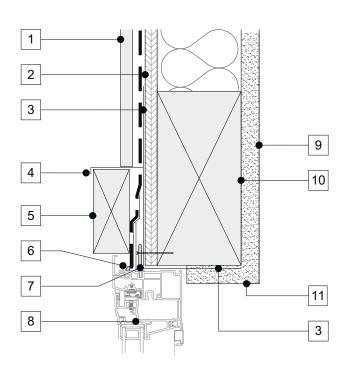
SHEET NO. A101



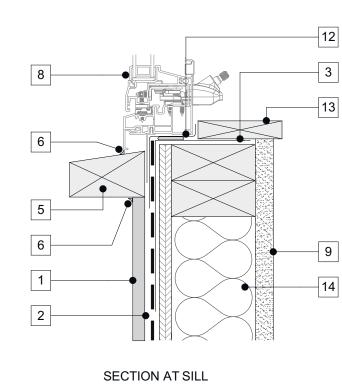


1 Existing Floor Plan
A101 SCALE: 1/4" = 1'-0"

2 Demo Plan A101 SCALE: 1/4" = 1'-0"



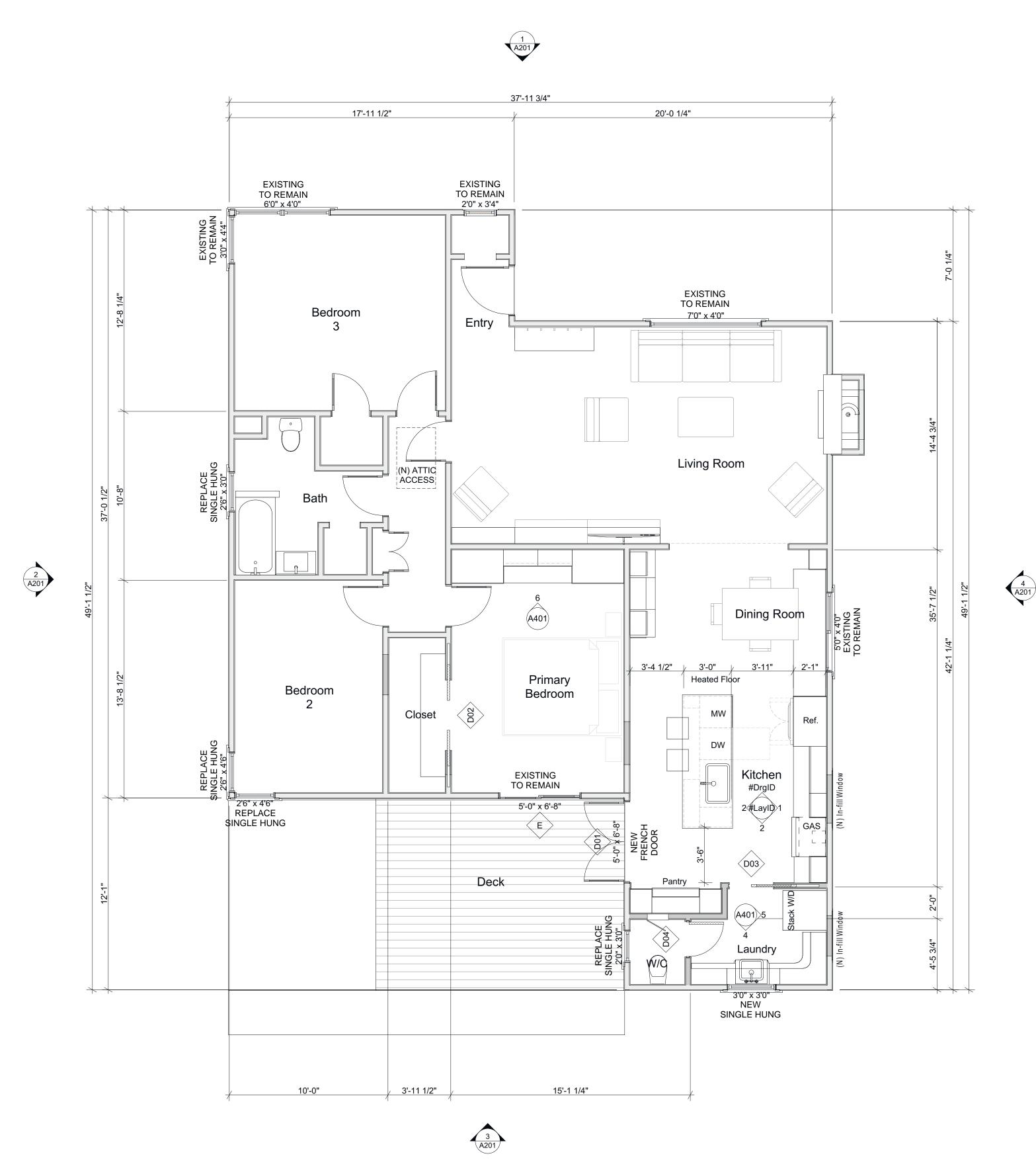
## SECTION AT HEADER (JAMB SIMILAR)



#### 1 Siding over WRB

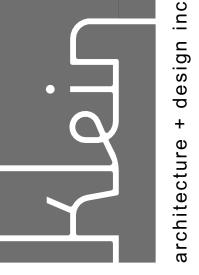
- 2 Sheathing per structural engineer
- 3 Wrap rough opening with self-
- adhesive flashing 4 G90 head flashing
- Trim to match existing 6 Sealant
- Set window in bed of sealant at
- head and jambs 8 Install window per manufacturer's
- specifications
- 9 5/8" gypsum board
- 10 Header per plan
- 11 Wrap top and sides with 5/8" gypsum board
- 12 Window flashing pan set in bed of sealant
- 13 3/4" paint grade poplar sills typical
- 14 R-15 mineral batts
- 15 2 x 4 stud framing
- 16 5/8" gypsum board





Proposed Floor Plan

SCALE: 1/4" = 1'-0"



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**McNulty** 

**REVISIONS:** 

DESIGNER: WK + TK

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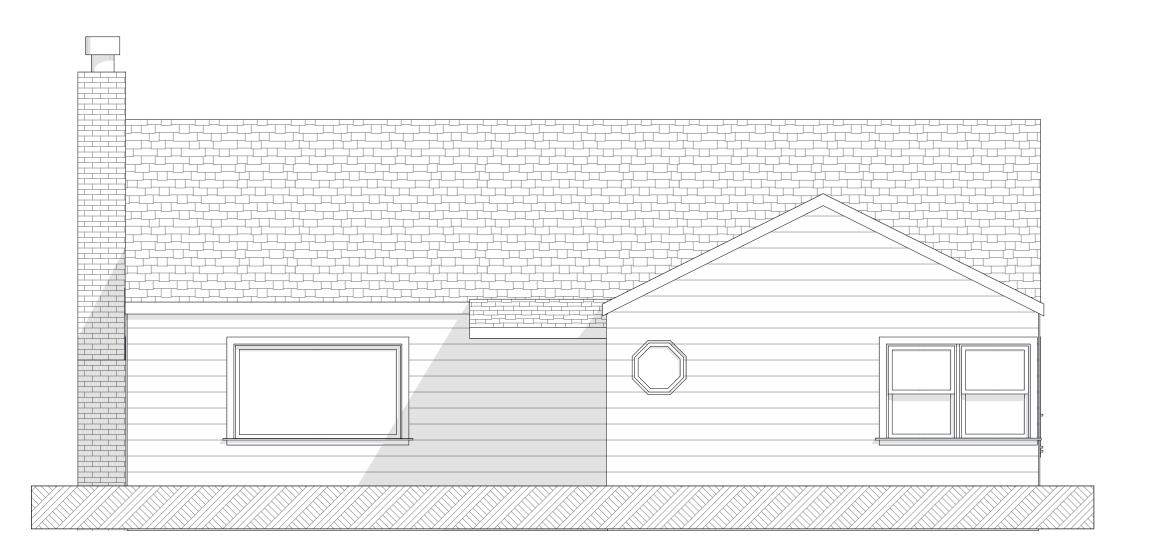
Sept 21, 2023

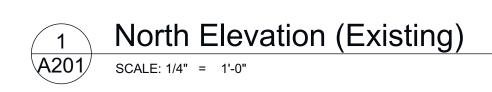
LAYOUT NAME: Proposed Floor Plan SHEET NO.

A102



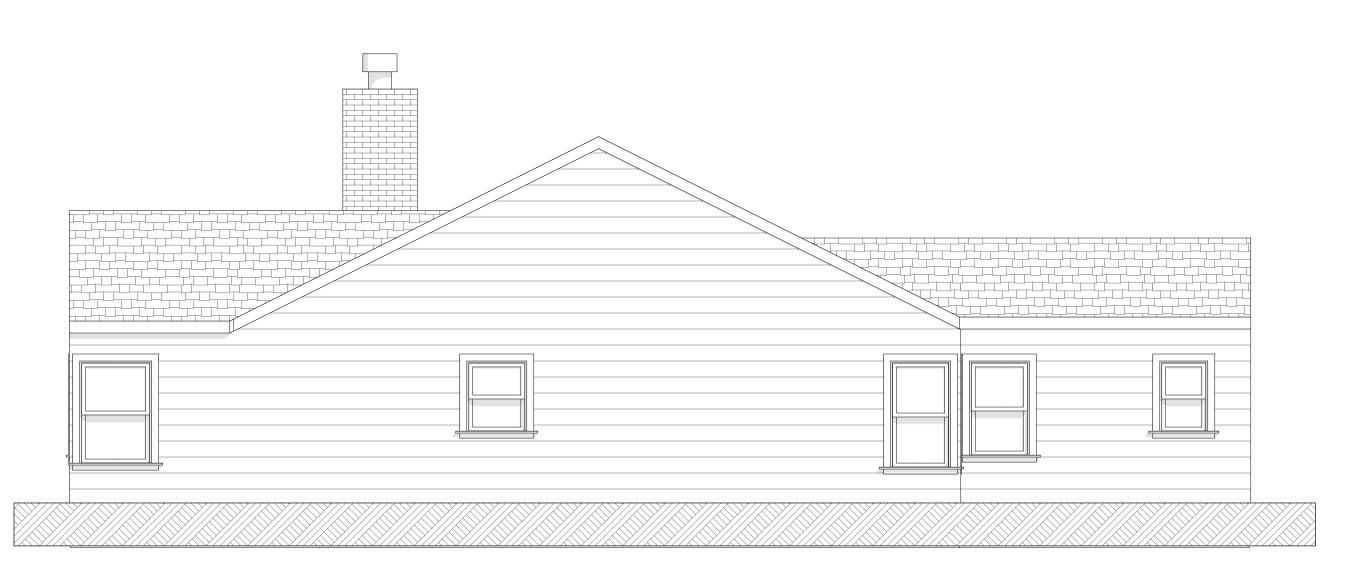
Front Elevation

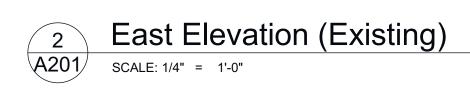


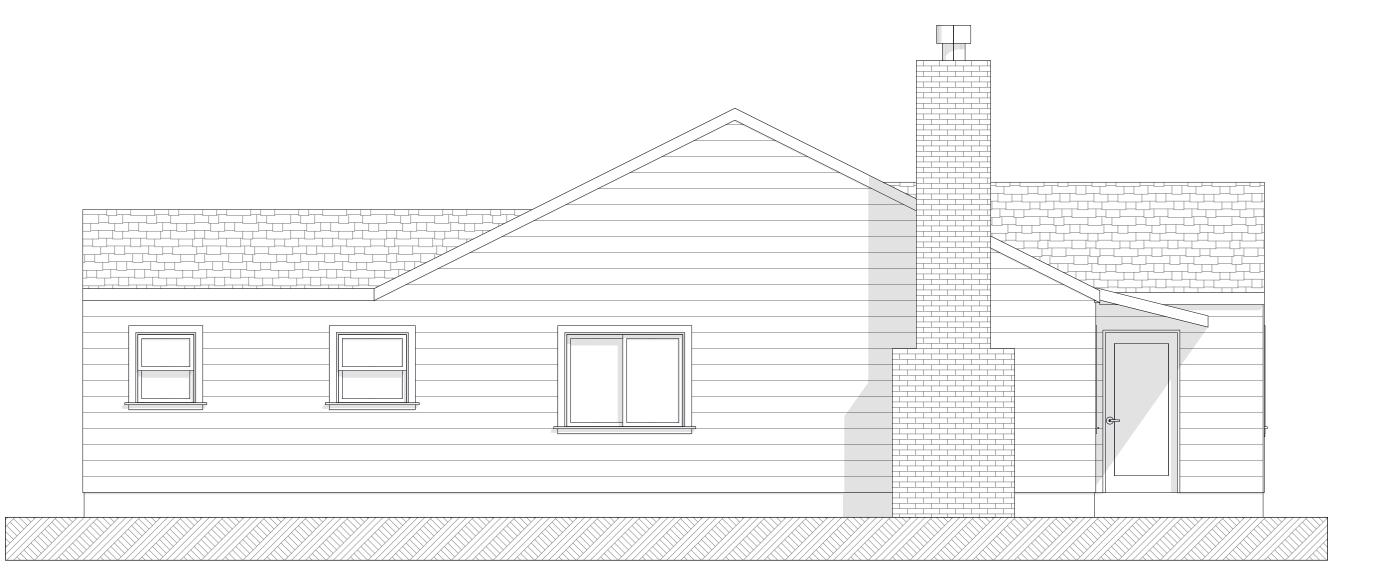


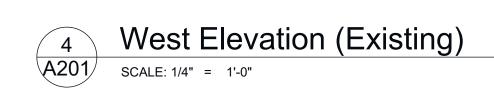


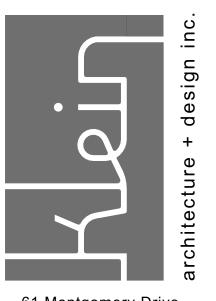












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**& brauley IV** 642 Oak Street ta Rosa , California 98

REVISIONS:



DESIGNER: WK + TK

WK + TK

DATE:

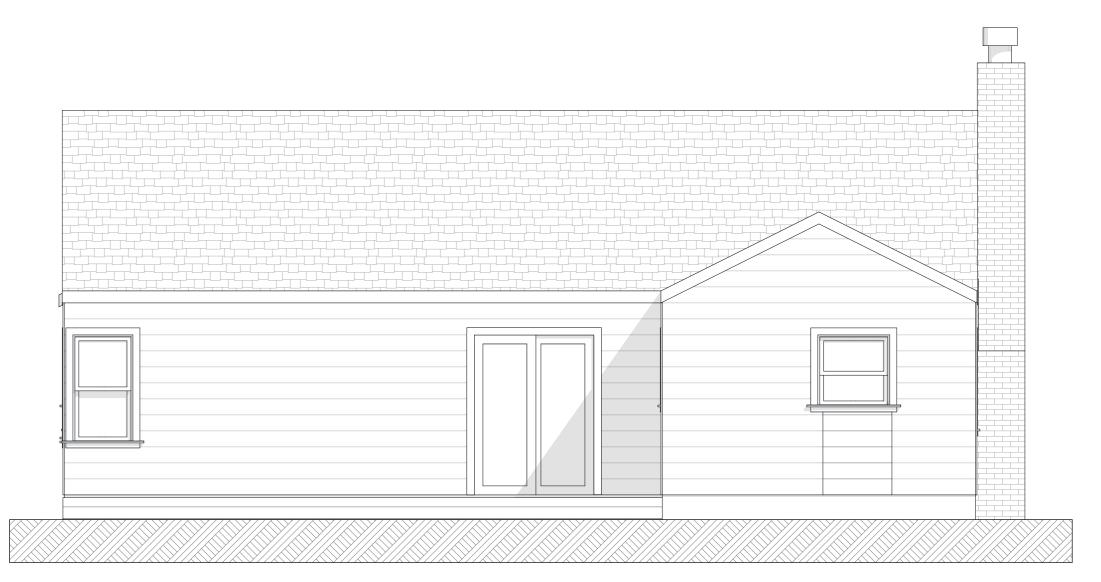
Sept 21, 2023

LAYOUT NAME:
Existing Exterior
Elevations
SHEET NO.

A201

North Elevation

SCALE: 1/4" = 1'-0"



South Elevation

A202 SCALE: 1/4" = 1'-0"

**Exterior Finishes** 

Match existing wood siding with redwood or cedar. Install siding over HydroTex weather barrier or approved equal over 1/2" APA rated sheathing. Paint to match existing color.

Windows New fiberglass doors and windows. Install per manufacturer's specifications. Color: White and Doors

Painted wood trim at corners, windows and doors.
Color to match existing. Wood species to match existing. Trim

Gutter and Downspouts No change

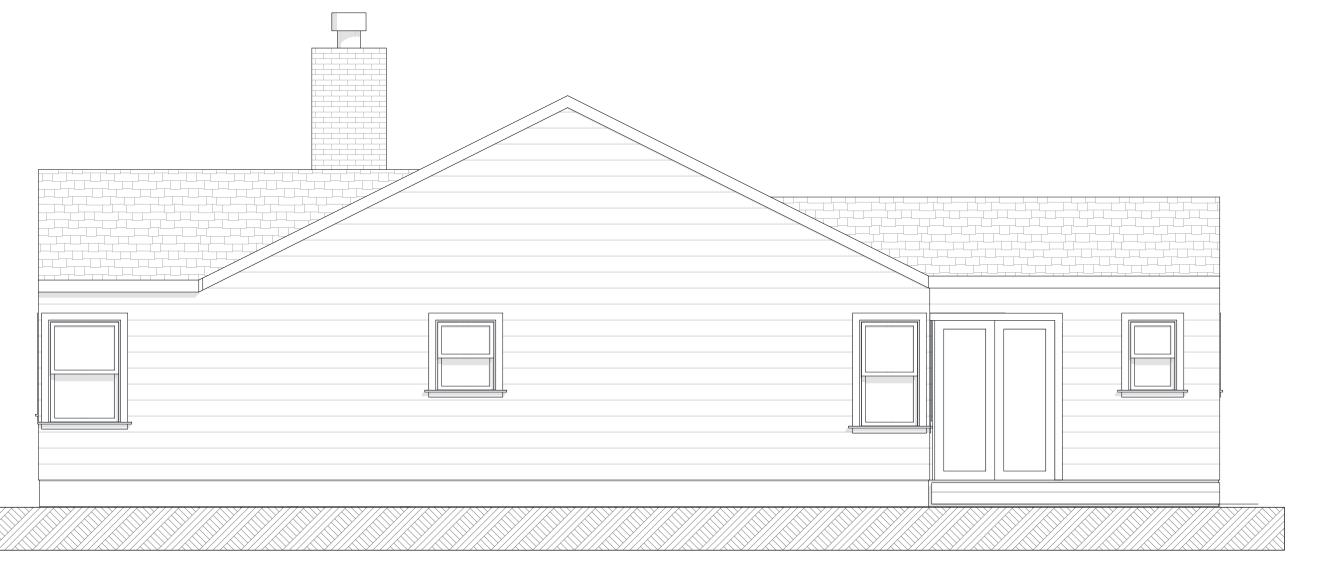
Flashing All wall cap metal, sill pans, flashing, counter flashing and z-bar over windows shall be galvanized steel painted to match siding color.

Driveway No change

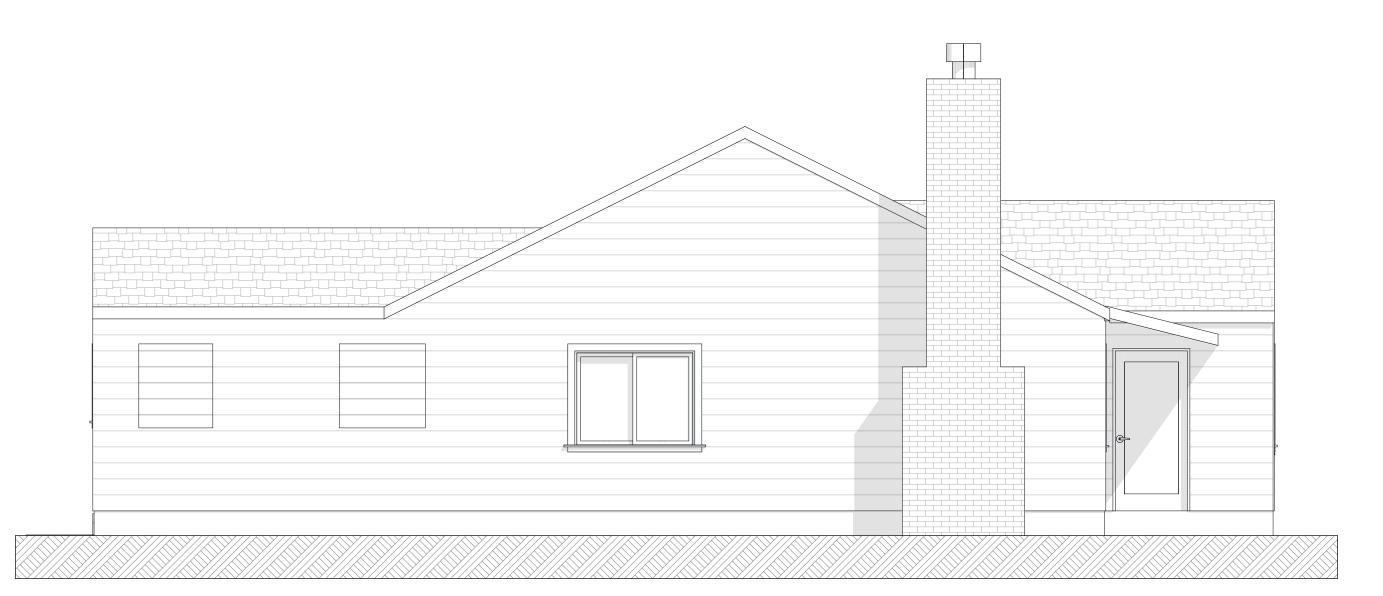


Blake

**REVISIONS:** 



**East Elevation** 2 East Eleva A202 SCALE: 1/4" = 1'-0"



West Elevation

A202 SCALE: 1/4" = 1'-0"



DESIGNER: WK + TK

Sept 21, 2023

LAYOUT NAME:
Proposed Exterior
Elevations SHEET NO.

**A202**